



Village of Mahomet

503 E. Main Street - P.O. Box 259 - Mahomet, IL 61853-0259
phone (217) 586-4456 fax (217) 586-5696

**STUDY SESSION
OCTOBER 11, 2016
6:00 P.M.
AT THE ADMINISTRATION OFFICE
503 E. MAIN ST.
AGENDA**

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **PUBLIC COMMENT:** The Board welcomes your input. You may address the Board by completing the information requested on the Attendance/Oath Sheet before the meeting. You may address the Board, on subjects not listed on the agenda, during the Public Participation portion of the meeting. Please state your name and address for the record. Please limit your comments to five minutes or less.
5. **PRESENTATIONS:**
 - A. **RICK SNYDER, CHAMPAIGN COUNTY ADMINISTRATOR AND ALLEN JONES – CHAMPAIGN COUNTY SHERRIF’S OFFICE – TO DISCUSS THE PROPOSED FACILITY TAX PLACED ON THE NOVEMBER 8TH BALLOT.**
6. **ORDINANCES, RESOLUTION AND OTHER ACTION ITEMS:**
 - A. **COMMUNITY DEVELOPMENT/PLANNING**
 1. **A RESOLUTION CONCERNING A CONDITIONAL USE PERMIT FOR A “SHOPPING CENTER” AT 602 - 606 E. MAIN**
7. **ADMINISTRATOR’S REPORT**
 - A. **DEPARTMENTAL REPORTS**
 1. **WATER/WASTEWATER**
 2. **TRANSPORTATION**
7. **MAYOR’S REPORT:**
 - A. **OCTOBER MEETING CALENDAR**
 1. **STUDY SESSION, TUESDAY, OCTOBER 18, 2016 – 6:00 P.M.**
 2. **BOARD MEETING, TUESDAY, OCTOBER 25, 2016 – 6:00 P.M**
 3. **TRICK OR TREAT, MONDAY, OCTOBER 31, 2016 – 6:00 P.M. – 8:00 P.M.**
8. **NEW BUSINESS**

(Discussion of any items that the Trustees may have for new business not listed on the agenda. No formal action will be taken on these items during this proceeding)

9. EXECUTIVE SESSION:

- A. EXECUTIVE SESSION TO DISCUSS THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED – 5 ILCS 120/2(c)(5)**

10. ADJOURNMENT



MEMORANDUM
TO THE
BOARD OF TRUSTEES

| | |
|---|---|
| ITEM: Conditional Use "Shopping Center" 602-606 E Main Street | DEPARTMENT: Community Development |
| AGENDA SECTION: Community Development - Planning | AMOUNT: n/a |
| ATTACHMENTS: (X) Area exhibit (X) Alley exhibit (X) Draft Resolution with plans | DATE: for Study Session September 20, 2016 |

INTRODUCTION:

The Board is asked to consider approval of a conditional use for a "Shopping Center" on property that is generally the southwest quadrant of the block bounded by Franklin, Jefferson, Main and Lombard Streets. The site is currently five (5) properties that will be assembled for the one (1) development. The PZC held a public hearing and forwards a recommendation to the Board of Trustees to approve the use subject to certain conditions. The petitioner requests approval consideration by the BOT.

BACKGROUND:

The five (5) properties are proposed to be assembled by subdivision and developed with a 12,660 SF building with seven (7) fit out commercial spaces. The developer submitted a site plan that involves adjacent property to be used for some of the required parking spaces and detention. That property will not be under the conditional use but the uses for parking and detention will be secured by recorded documents.

The submitted site plan included required components and information related to grading, traffic circulation, parking layout, delivery areas, trash location, building floor plan with setbacks, unique features, signage, proposed surfaces, cross section of public improvements to be made, drainage and detentions, utility connections, as well as a list of proposed permissive and conditional uses. The site plan was reviewed, changes made, and has been submitted in a form which complies with ordinances. The developer's attorney is drawing up the documents to create a zoning as a short term method of assembling the lots until the subdivision can be completed. He will also draw up easement documents as needed to assure the functionality of the development.

The PZC held the public hearing on October 4 and considered all elements of the submittals, concerns with traffic circulation within and potential effects on adjacent public infrastructure, as well as serviceability for deliveries. No members of the public were present but the petitioner representative, Jody Wesley, provided the commission with an overview of the project and the vision.

A key component of the site plan is the vacation of the ‘platted’ alley on the north side and the existing alley on the east side of the property. The site plan indicates the entry to the site will be one way in from Main Street and all exiting traffic will go onto Jefferson either from the current platted alley on the north side of the property running east/west or through the parking lot in the front of the building which is limited to right turn only. The commission supported the one-way concept of traffic circulation and supported staff approving surface markings and onsite circulation signage as needed. They adopted a resolution supporting signage, the use of off-site parking and detention, a reduction of the setback from Jefferson to as little as 1 foot to make sure the proper width of ROW could be dedicated to allow the improvements along Jefferson Street.

The PZC recommended approval of the condition use as a shopping center subject to certain conditions.

DISCUSSION OF ALTERNATIVES:

1. Approve with same conditions as the PZC – staff recommendation
2. Approve with different conditions and requirements
3. Deny – the relegates to each property being developed with only one commercial use or the entire assembled parcel being of only one use. This would essentially terminate the project.

PRIOR BOARD ACTION: None

COMMUNITY INPUT: Public Hearing was held on October 4, 2016. No members of the public attended.

BUDGET IMPACT:

Development will increase the assessed value of the property and therefore property tax revenue. A smaller commercial building similar to the one proposed is valued 2.3 times the value of this site as it sat with the old houses and accessory buildings. The land value only assessed value for the site (since all buildings were razed) is \$33,780 which translates to a market value of \$111,424. The Eastwood Plaza with its ~7300 SF of leasable space is assessed at 240,050 and is therefore assessed at a \$790,000 market value. The value increase to develop is more than seven (7) fold. A million dollar market value would mean ~\$2600 annually in property taxes to the Village. (tax rate of .8800). Additionally, a commercial building is likely to lease to tenants that would generate some sales tax revenue. Left vacant, the property only generates property tax dollars of ~\$300/year.

Though not part of the conditional use per se, should alleys be vacated, there is a savings of maintenance costs of the eastern alley. The northern alley is in grass. The proposal for the development is that Jefferson street is only made wider on the side of the development which requires no Village participation (half street roadway improvements).

STAFF IMPACT:

Staff will process a “major subdivision” to formally assemble the lots; manage the building permit process; review and approve the site as-built plans and coordinate the production of the numerous legal documents to assure the development can be constructed and operate in the way presented. Staff will also have to approve a lighting plan, pavement marking and on site signage as well and generally manage the compliance with the conditional use permit over time.

SUMMARY:

The petitioner submitted the required documents for consideration of a conditional use as a “shopping center” and the public hearing was held. The PZC adopted a resolution indicating a recommendation for approval subject to certain conditions. Staff support the recommendation.

Staff will be presenting the BOT with consideration of the vacation of two alleys to enable the functionality of the development. A public hearing is scheduled for October 25, 2016.

RECOMMENDED ACTION:

Staff recommend approval of a conditional use and present a draft resolution for the BOT with the same conditions and findings of fact as the PZC’s adopted resolution. The board can modify as it sees fit.

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|---|--|
| DEPARTMENT HEAD APPROVAL: <i>/s/ Kelly Pfeifer, Village Planner</i> | VILLAGE ADMINISTRATOR: Patrick Brown |
|---|--|



PAVEMENT LEGEND

- P.C. CONCRETE PAVEMENT, 6" THICK
- P.C. CONCRETE SIDEWALK, 6" THICK
- BITUMINOUS SURFACE TREATMENT, CLASS A-2 AGGREGATE SURFACE COURSE, TYPE A, 8" THICK
- ADA TRUNCATED DOME PANELS

GENERAL NOTES:

1. LEGAL DESCRIPTION:

TRACT 1

LOT 24, IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS, EXCEPT THE FOLLOWING: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 24; THENCE NORTH 0 DEGREES 26 MINUTES 47 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 24 FOR A DISTANCE 15.79 FEET; THENCE SOUTH 21 DEGREES 25 MINUTES 47 SECONDS EAST FOR A DISTANCE OF 16.96 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 24; THENCE SOUTH 89 DEGREES 58 MINUTES 13 SECONDS WEST ALONG SAID WEST LINE OF LOT 24 FOR A DISTANCE 6.07 FEET TO THE POINT OF BEGINNING;

TRACT 2

LOT 22, EXCEPT THE EAST 4 FEET OF EVEN WIDTH OF THE NORTH 44 FEET OF SAID LOT, IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS.

TRACT 3

THE SOUTH 66 FEET OF EVEN WIDTH OF LOT 20 IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS.

TRACT 4

THE NORTH 55 FEET OF THE SOUTH 121 FEET OF LOT 20 IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS.

TRACT 5

THE NORTH 44 OF LOT 20 OF EVEN WIDTH (ALSO KNOWN AS THE REAR 1/3 OF LOT 20) AND THAT PART OF LOT 22 IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 22; THENCE NORTHWESTERLY 4 FEET ALONG THE NORTHERLY BOUNDARY LINE OF LOT 22; THENCE SOUTHERLY AND PARALLEL TO THE SOUTHEASTERLY BOUNDARY OF LOT 22 A DISTANCE OF 44 FEET; THENCE SOUTHEASTERLY AND PARALLEL TO THE NORTHERLY BOUNDARY LINE OF LOT 22, A DISTANCE OF 4 FEET TO THE SOUTHEASTERLY BOUNDARY LINE OF LOT 22; THENCE NORTHERLY ALONG SAID SOUTHEASTERLY BOUNDARY LINE TO THE PLACE OF BEGINNING.

TRACT 6

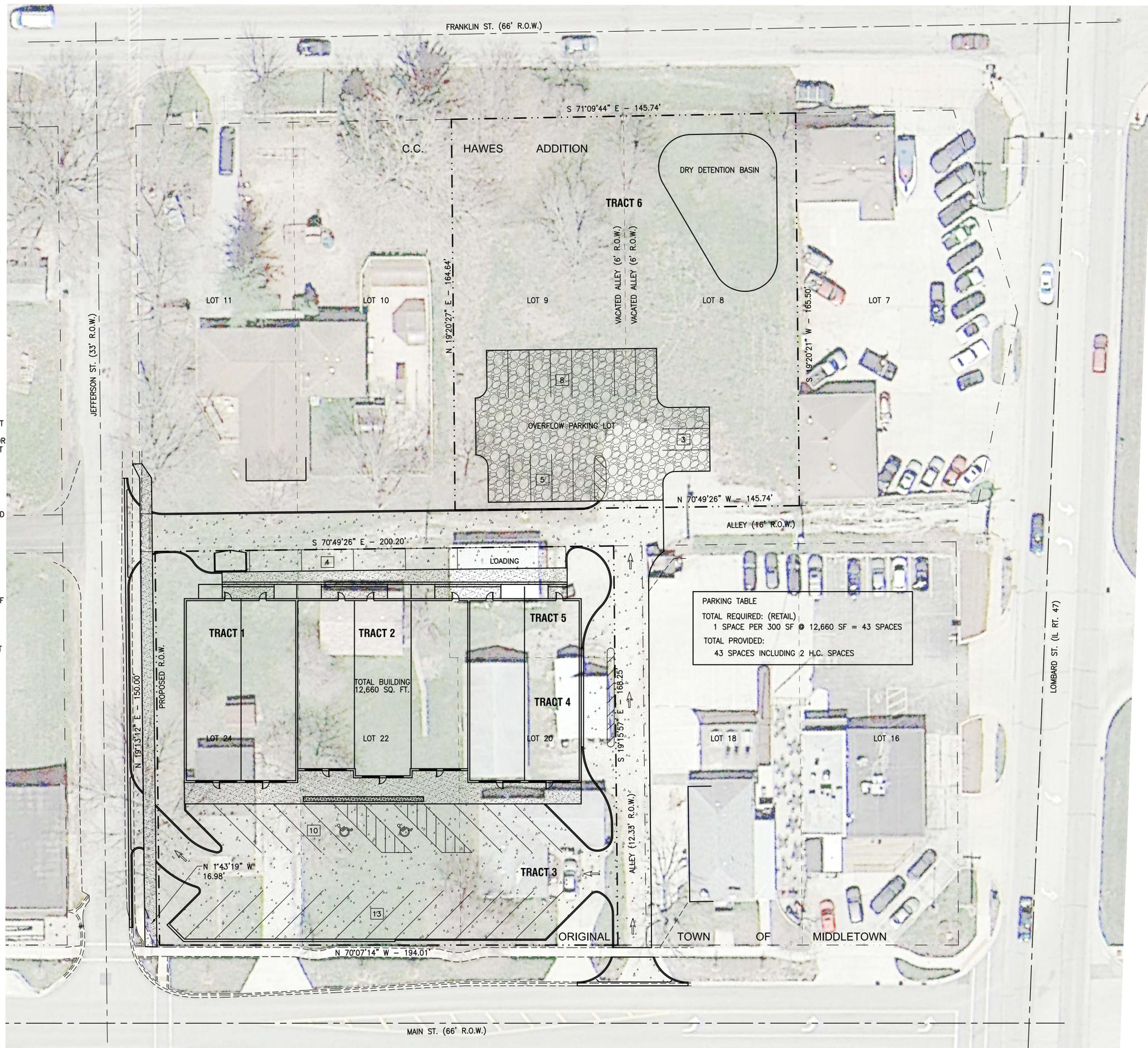
LOTS 8 AND 9 AND VACATED ALLEY LYING BETWEEN LOTS 8 AND 9 IN C.C. HAWES ADDITION TO THE TOWN OF MIDDLETOWN, NOW MAHOMET AS PER PLAT RECORDED IN DEED RECORD "P" AT PAGE 404, IN CHAMPAIGN COUNTY, ILLINOIS.

2. BENCHMARK: CHISELED SQUARE ON THE SOUTHWESTERN CORNER OF THE CONCRETE FLAG POLE BASE, 18.6 FEET SOUTH OF THE SOUTHWESTERN CORNER OF THE CORNBELT FIRE PROTECTION DISTRICT STATION AND 25.0 FEET NORTH OF THE CENTERLINE OF MAIN STREET. ELEV. = 720.33.
3. ALL BEARINGS ARE OF THE EASTERLY LINE OF LOT 102 OF CORNBELT REPLAT.
4. CURRENT ZONING FOR ALL TRACTS IS C-2 - GENERAL COMMERCIAL DISTRICT.
5. NO INDEPENDENT REVIEW OF EASEMENTS WAS PERFORMED.



BB
 BRYAN K. BRADSHAW
 ILLINOIS PROFESSIONAL
 ENGINEER NO. 52891

DATE: SEPTEMBER 19, 2016



PARKING TABLE
 TOTAL REQUIRED: (RETAIL)
 1 SPACE PER 300 SF @ 12,660 SF = 43 SPACES
 TOTAL PROVIDED:
 43 SPACES INCLUDING 2 H.C. SPACES

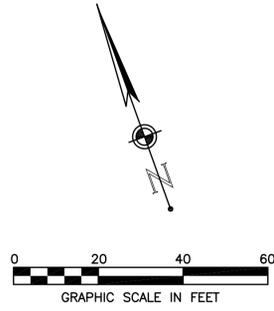
| NO. | DATE | DESCRIPTION |
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| | | |
| | | |
| | | |

BKB
 ENGINEERING
 301 N. NEIL STREET, SUITE 400 | CHAMPAIGN, IL 61820
 CELL 217.840.3546 | OFFICE 217.531.2971 | FAX 217.531.2211

OVERALL SITE PLAN
 NEW RETAIL BUILDING
 602 E. MAIN ST.
 MAHOMET, ILLINOIS

| |
|------------------|
| PROJECT: 13-1601 |
| DESIGN BY: BKB |
| DRAWN BY: BKB |
| DATE: 8/20/16 |
| SHEET: C1 |

VACATION PLAT OF SURVEY MAHOMET, ILLINOIS



 AREA OF ALLEY TO BE VACATED BY THIS PLAT

STATE OF ILLINOIS)
COUNTY OF CHAMPAIGN) S.S.

I, BRYAN K. BRADSHAW, ILLINOIS PROFESSIONAL LAND SURVEYOR 035-003838, DO HERBY STATE THAT AT THE REQUEST OF THE VILLAGE OF MAHOMET, I HAVE PREPARED A VACATION PLAT OF SURVEY BEING A PART OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN IN CHAMPAIGN COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 11 IN C.C. HAWES ADDITION TO THE TOWN OF MIDDLETOWN, NOW MAHOMET AS PER PLAT RECORDED IN DEED RECORD "P" AT PAGE 404, IN CHAMPAIGN COUNTY, ILLINOIS;

THENCE EASTERLY ALONG THE SOUTHERLY LINE OF LOTS 11, 10, 9 AND 8 OF SAID C.C. HAWES ADDITION A DISTANCE OF 210.33 FEET TO THE WESTERLY LINE, EXTENDED NORTH, OF LOT 18 IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91;

THENCE SOUTHERLY ALONG SAID WESTERLY LINE OF LOT 18, EXTENDED NORTH, A DISTANCE OF 16.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 18;

THENCE SOUTHERLY ALONG SAID WESTERLY LINE OF LOT 18 A DISTANCE OF 165.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 18 BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY OF MAIN STREET;

THENCE WESTERLY ALONG SAID NORTHERLY RIGHT-OF-WAY OF MAIN STREET A DISTANCE OF 12.33 FEET TO THE SOUTHWEST CORNER OF LOT 20 OF SAID ORIGINAL TOWN OF MIDDLETOWN;

THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID LOT 20 A DISTANCE OF 165.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 20;

THENCE WESTERLY ALONG THE NORTHERLY LINE OF LOTS 20, 22 AND 24 OF SAID ORIGINAL TOWN OF MIDDLETOWN A DISTANCE OF 198.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 24 BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF JEFFERSON STREET;

THENCE NORTHERLY ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF JEFFERSON STREET A DISTANCE OF 16.00 FEET TO THE POINT OF BEGINNING.

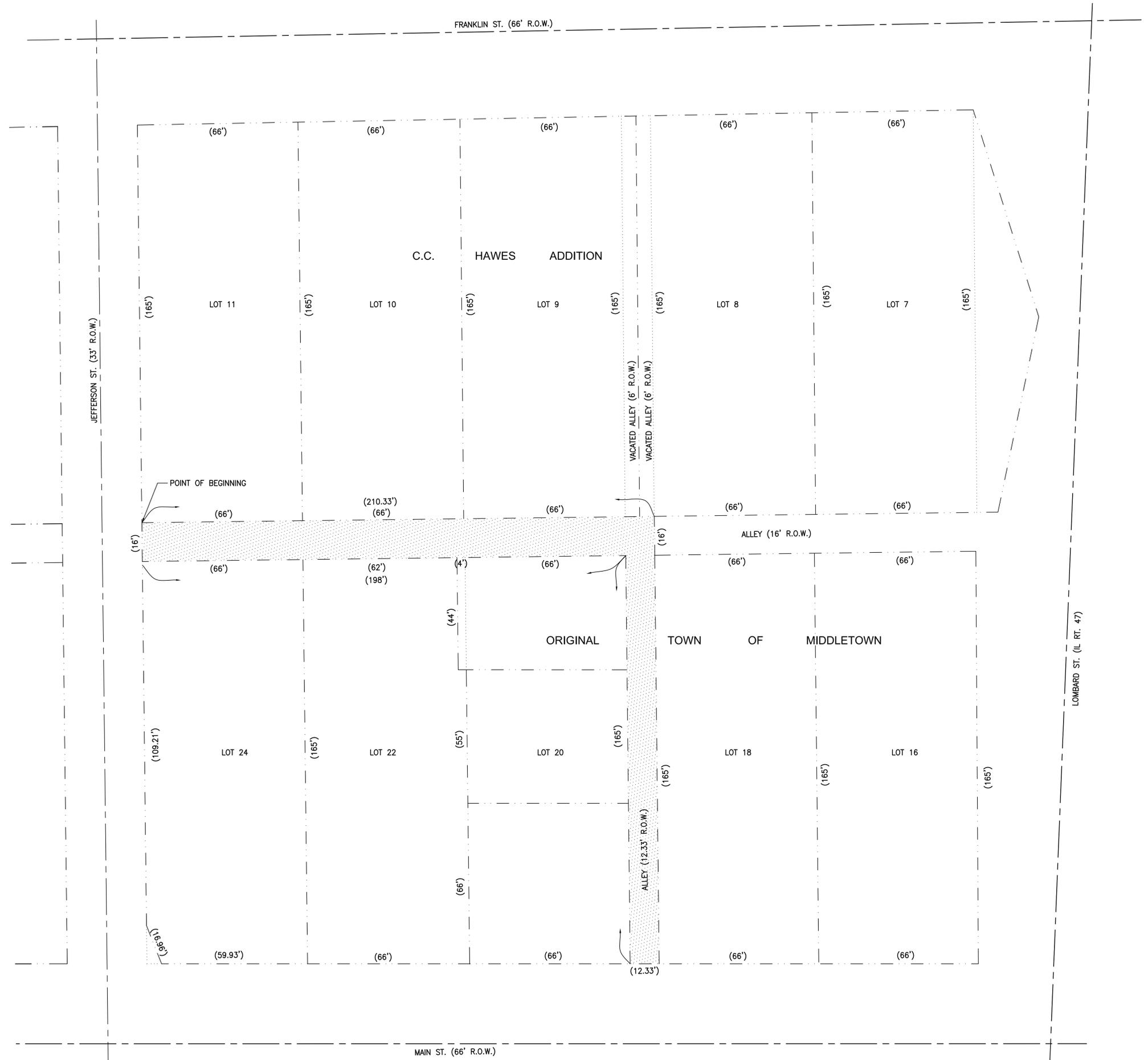
I FURTHER STATE THAT ALL RECORDED MEASUREMENTS ARE IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER STATE THAT I MADE NO INVESTIGATION CONCERNING ZONING OR LAND USE, INDEPENDENT SEARCH OF THE RECORDS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, OWNERSHIP, TITLE/EVIDENCE OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

I FURTHER STATE THAT THE ATTACHED PLAT IS NOT THE RESULT OF A PRESENT BOUNDARY SURVEY AND IS BASED ON RECORD INFORMATION.

SIGNED AND SEALED, SEPTEMBER 18, 2016


BRYAN K. BRADSHAW, PLS
ILLINOIS PROFESSIONAL LAND
SURVEYOR NO. 035-003738
BKB ENGINEERING, INC.
301 N. NEIL ST., SUITE 400
CHAMPAIGN, IL 61820
(217) 531-2971
PROFESSIONAL DESIGN
FIRM NO. 184-005483



**A Resolution Concerning
a Conditional Use Permit for a "Shopping Center"
at 602-606 E Main**

WHEREAS, the Board of Trustees of the Village of Mahomet, pursuant to authority conferred by the statutes of the State of Illinois, has established certain standards and procedures for zoning establishment and amendment within the Corporate Limits of the Village of Mahomet; and,

WHEREAS, Jody Wesley as operator, and One East Main, LLC. as owner, of a tract of land described as set forth in the advertised public notice, has requested that a Conditional Use Permit be granted under the terms of the Village Zoning Ordinance to allow the establishment of a shopping center use at property commonly known as 602, 604, 606, 606 ¼, and 606 ½ E Main St. in the C-2 General Commercial Zoning District; and,

WHEREAS, the legal description of the property is as follows:

LOT 24, IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS, EXCEPT THE FOLLOWING: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 24; THENCE NORTH 0 DEGREES 26 MINUTES 47 WEST ALONG THE WEST LINE OF SAID LOT 24 FOR A DISTANCE 15.79 FEET; THENCE SOUTH 21 DEGREES 25 MINUTES 47 SECONDS EAST FOR A DISTANCE OF 16.96 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 24; THENCE SOUTH 89 DEGREES 58 MINUTES 13 SECONDS WEST ALONG SAID WEST LINE OF LOT 24 FOR A DISTANCE 6.07 FEET TO THE POINT OF BEGINNING.

AND

LOT 22, EXCEPT THE EAST 4 FEET OF EVEN WIDTH OF THE NORTH 44 FEET OF SAID LOT, IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS.

AND

THE SOUTH 66 FEET OF EVEN WIDTH OF LOT 20 IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS.

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THE NORTH 55 FEET OF THE SOUTH 121 FEET OF LOT 20 IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS.

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WHEREAS, the Village Planner, Village Administrator, Village Consulting Engineer, and Village Attorney have provided technical background information, review, and analysis regarding the requested conditional use; and,

WHEREAS, a Public Hearing concerning the requested Conditional Use Permit was held on October 4, 2016, and comment from the public was solicited; and,

WHEREAS, the Plan and Zoning Commission reviewed the evidence and testimony submitted, considered the factual evidence regarding the subject request, and adopted a resolution indicating a recommendation to approve the conditional use subject to certain conditions; and,

WHEREAS, the Board of Trustees reviewed the evidence and testimony submitted and considered the factual evidence regarding the subject request.

BE IT THEREFORE RESOLVED this 25th day of October, 2016, by the Board of Trustees of the Village of Mahomet, that:

1. The Board of Trustees does hereby **GRANT** the requested Conditional Use Permit for establishment of a shopping center use at subject property.
2. The Board of Trustees does further hereby confirm that the conditional use be subject to the following conditions:
 1. GENERAL
 - a. A site plan shall be submitted and approval given prior to a building permit application
 - b. A zoning lot shall be created for 602, 604, 606, 606 ½, and 606 ¼ E Main prior to building permit application
 - c. A subdivision shall be completed to assemble the lots into one lot and absorb any vacated alleyway.
 - d. Ownership of land or easements shall be obtained to assure full functioning of the site plan as attached, subject to minor technical modifications, prior to occupancy.
 - e. A performance bond and surety shall be provided for public improvements and the private stormwater detention basin as a part of the building permit application.
 2. FEATURES:
 - a. Window: The pickup window shown on the east side of the building shall be limited to pick up service only and no orders taken from the window. No drive-through or drive-up function is permitted
 - b. A separation shall be constructed in some manner or width between the pick-up window lane if the alleyway is not vacated.
 - c. Final dumpster location shall be approved by the Village of Mahomet.
 3. SIGNAGE:
 - a. Signage shall be consistent with the attached site plan and subject to Village permit and approval
 - b. No freestanding signs are permitted excluding directionals as deemed necessary by the Village for proper site circulation.
 - c. No signage shall have animation ability. All are static.

4. OFF SITE PARKING:

- a. Documents shall be recorded securing easements for the parking lot facility on the properties as shown on the site plan at 605 and 607 E Franklin prior to occupancy.
- b. Should parking be shared by entities operating within the block bounded by Main, Lombard, Jefferson and Franklin Streets in some formal way, the parking requirements for the off-site lot can be removed with Village approval.
- c. The overflow parking shall be constructed and maintained of a dustfree surface and spaces marked clearly.
- d. All parking spaces shall be available to patrons of this development.

5. STORMWATER DETENTION:

- a. The basin complies with ordinances. The design for such as attached is constructed subject to minor modifications to achieve compliance.
- b. An easement shall be recorded to secure a stormwater detention function offsite within 250 feet of the property.
- c. Grading and detention shall be completed prior to an occupancy permit being issued.
- d. The stormwater detention basin can be modified to accept runoff from area sites provided it continues to comply with ordinances.

6. LIGHTING:

- a. A site lighting plan conforming to code shall be submitted to the Village for approval prior to installation.

7. PAVEMENT MARKING AND CIRCULATION SIGNAGE–

- a. Pavement marking and signage related to circulation will be installed and maintained as required by the Village.

8. COMPLIANCE WITH OTHER ORDINANCES:

- a. Compliance with the Building Permit requirements of the Village
- b. Approval of the site and building plan by Cornbelt Fire Protection District making all requested changes.
- c. Tree ordinance compliance
- d. No outside storage or display of inventory
- e. Building setback along Jefferson can be reduced to one (1) foot if determined necessary by the Village.

9. USES: That the shopping center is limited to the following uses in any combination therein:

PERMISSIVE USES

1. Dressmaking, tailoring, shoe repairing, donut/bakery shop and other uses of similar character
2. Office or office building
3. Personal service uses including barber shop, beauty parlor, photographic or art studio, messenger, newspaper, laundry or dry cleaning pickup

4. General merchandise retail store, in connection with there will be no slaughtering of animals or poultry, nor commercial fish cleaning and processing on the premises
5. Restaurants, cafeterias, bars and taverns, not including drive-through or quick service establishments
6. Restaurant with pick-up only window
7. Convenience store
8. Video rental store
9. Property rental and real estate agency
10. Computer and personal electronics sales or repair
11. Private indoor recreational or fitness facility
12. Specialty retail store such as apparel, jewelry, book, shoe, stationary, antique and other similar stores.
13. Medical, chiropractic or dental clinic
14. Pet grooming
15. Any combination of any permissive uses

CONDITIONAL USES

1. Residence
 2. Day Care Center
 3. Dance or Music Academy
 4. Gymnastics academy
3. The Board of Trustees does hereby confirm the following findings of fact regarding the requested Conditional Use Permit:
- a. *The establishment, maintenance, or operation of the Conditional Use **WILL NOT** be detrimental to or endanger the public health, safety, morals, comfort or general welfare;*
 - b. *The conditional use **WILL NOT** be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted nor substantially diminish and impair property values within the neighborhood;*
 - c. *The establishment of the conditional use **WILL NOT** impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;*
 - d. *Adequate utilities, access roads, drainage, and/or other necessary facilities **WILL** be provided;*
 - e. *The conditional use **DOES** in all other respects conform to the applicable regulations of the district in which it is located;*
 - f. *There **IS** a public necessity for the conditional use at this site;*

- g. The proposed conditional use **DOES** conform with the intent of the Village Comprehensive Plan.*
 - h. The proposed conditional use **WILL** be compatible with the established land use pattern in the vicinity.*
 - i. The site **IS** suitable for the proposed conditional use.*
 - j. The proposed conditional use **WILL NOT** significantly adversely impact existing traffic patterns.*
 - k. Adequate facilities for municipal water supply and wastewater disposal **ARE** available for the site.*
 - l. Adequate provisions for stormwater drainage **ARE** available for the site.*
 - m. The proposed conditional use **WILL NOT** adversely impact police protection, fire protection, schools, or public facilities.*
 - n. The proposed conditional use **WILL NOT** conflict with existing public commitments for planned public improvements.*
 - o. The proposed conditional use **WILL** preserve the essential character of the neighborhood in which it is located.*
 - p. The proposed conditional use **WILL NOT** alter the population density pattern and **WILL NOT** adversely impact public facilities.*
 - q. The proposed conditional use **WILL** result in private investment that will be beneficial to the proper development of the community.*
4. The approval above shall be subject to the fulfillment of the conditions set forth in Item 2 above. In the event that these conditions are not fulfilled, the Conditional Use Permit may become void and no occupancy permit for the project may be issued, or the occupancy permit previously issued may be revoked.

Sean Widener, President
Board of Trustees
Village of Mahomet

Attest:

Village Clerk

INDEX OF CIVIL SHEETS

- C1 OVERALL SITE PLAN
- C2 SITE LAYOUT PLAN - SOUTH
- C3 SITE LAYOUT PLAN - NORTH
- C4 GRADING PLAN - SOUTH
- C5 GRADING PLAN - NORTH
- C6 UTILITY PLAN
- C7 NOTES AND SECTIONS
- C8-C9 DETAILS



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 THE NORTH 55 FEET OF THE SOUTH 121 FEET OF LOT 20 IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS.

TRACT 5
 THE NORTH 44 OF LOT 20 OF EVEN WIDTH (ALSO KNOWN AS THE REAR 1/3 OF LOT 20) AND THAT PART OF LOT 22 IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHEAST CORNER OF LOT 22; THENCE NORTHWESTERLY 4 FEET ALONG THE NORTHERLY BOUNDARY LINE OF LOT 22; THENCE SOUTHERLY AND PARALLEL TO THE SOUTHEASTERLY BOUNDARY OF LOT 22 A DISTANCE OF 44 FEET; THENCE SOUTHEASTERLY AND PARALLEL TO THE NORTHERLY BOUNDARY LINE OF LOT 22, A DISTANCE OF 4 FEET TO THE SOUTHEASTERLY BOUNDARY LINE OF LOT 22; THENCE NORTHERLY ALONG SAID SOUTHEASTERLY BOUNDARY LINE TO THE PLACE OF BEGINNING.

TRACT 6
 LOTS 8 AND 9 AND VACATED ALLEY LYING BETWEEN LOTS 8 AND 9 IN C.C. HAWES ADDITION TO THE TOWN OF MIDDLETOWN, NOW MAHOMET AS PER PLAT RECORDED IN DEED RECORD "P" AT PAGE 404, IN CHAMPAIGN COUNTY, ILLINOIS.

- 2. BENCHMARK: CHISELED SQUARE ON THE SOUTHWESTERN CORNER OF THE CONCRETE FLAG POLE BASE, 18.6 FEET SOUTH OF THE SOUTHWESTERN CORNER OF THE CORNBELT FIRE PROTECTION DISTRICT STATION AND 25.0 FEET NORTH OF THE CENTERLINE OF MAIN STREET. ELEV. = 720.33.
- 3. ALL BEARINGS ARE OF THE EASTERLY LINE OF LOT 102 OF CORNBELT REPLAT.
- 4. CURRENT ZONING FOR ALL TRACTS IS C-2 - GENERAL COMMERCIAL DISTRICT.
- 5. NO INDEPENDENT REVIEW OF EASEMENTS WAS PERFORMED.

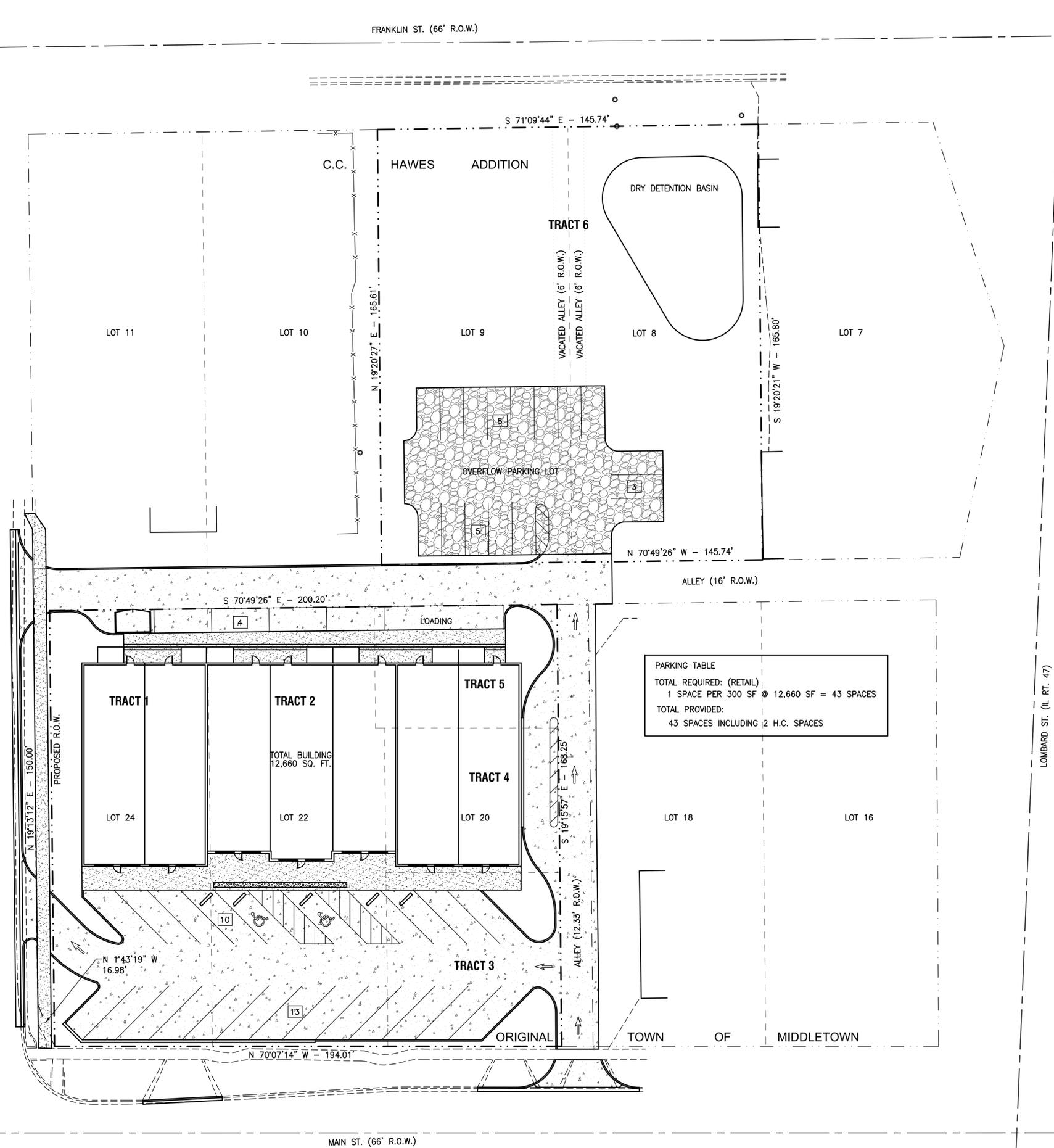


BK
 BRYAN K. BRADSHAW
 ILLINOIS PROFESSIONAL
 ENGINEER NO. 52891

LICENSE EXPIRES
 11/30/17

DATE: OCTOBER 5, 2016

JEFFERSON ST. (33' R.O.W.)

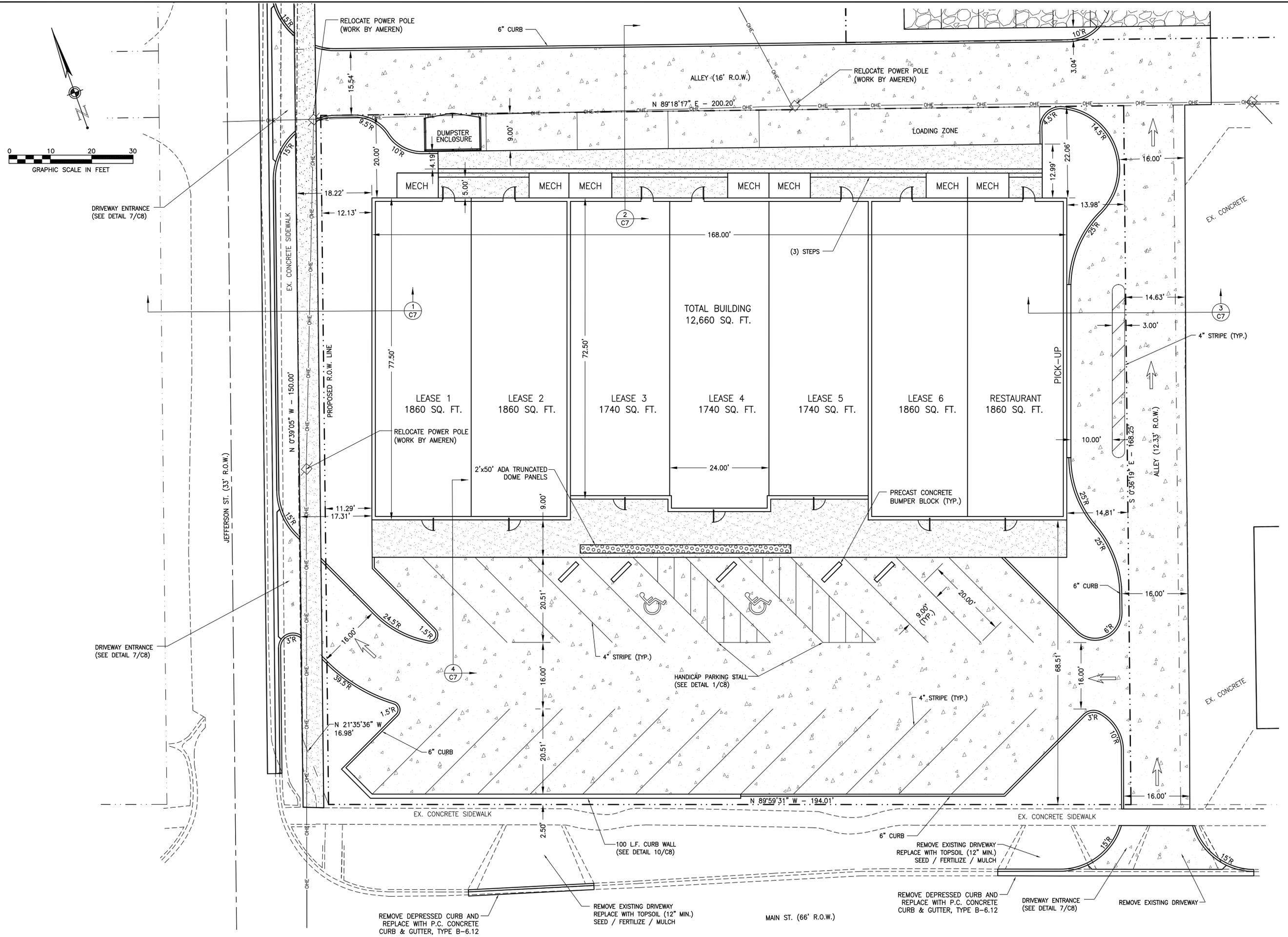


| REVISIONS NO. | DATE | DESCRIPTION |
|---------------|---------|-------------------|
| 1 | 10/5/16 | VILLAGE REVISIONS |

BKB
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 301 N. NEIL STREET, SUITE 400 | CHAMPAIGN, IL 61820
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OVERALL SITE PLAN
 NEW RETAIL BUILDING
 602 E. MAIN ST.
 MAHOMET, ILLINOIS

| |
|------------------|
| PROJECT: 13-1601 |
| DESIGN BY: BKB |
| DRAWN BY: BKB |
| DATE: 8/20/16 |
| SHEET: C1 |



| REVISIONS NO. | DATE | DESCRIPTION |
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| 1 | 10/5/16 | VILLAGE REVISIONS |

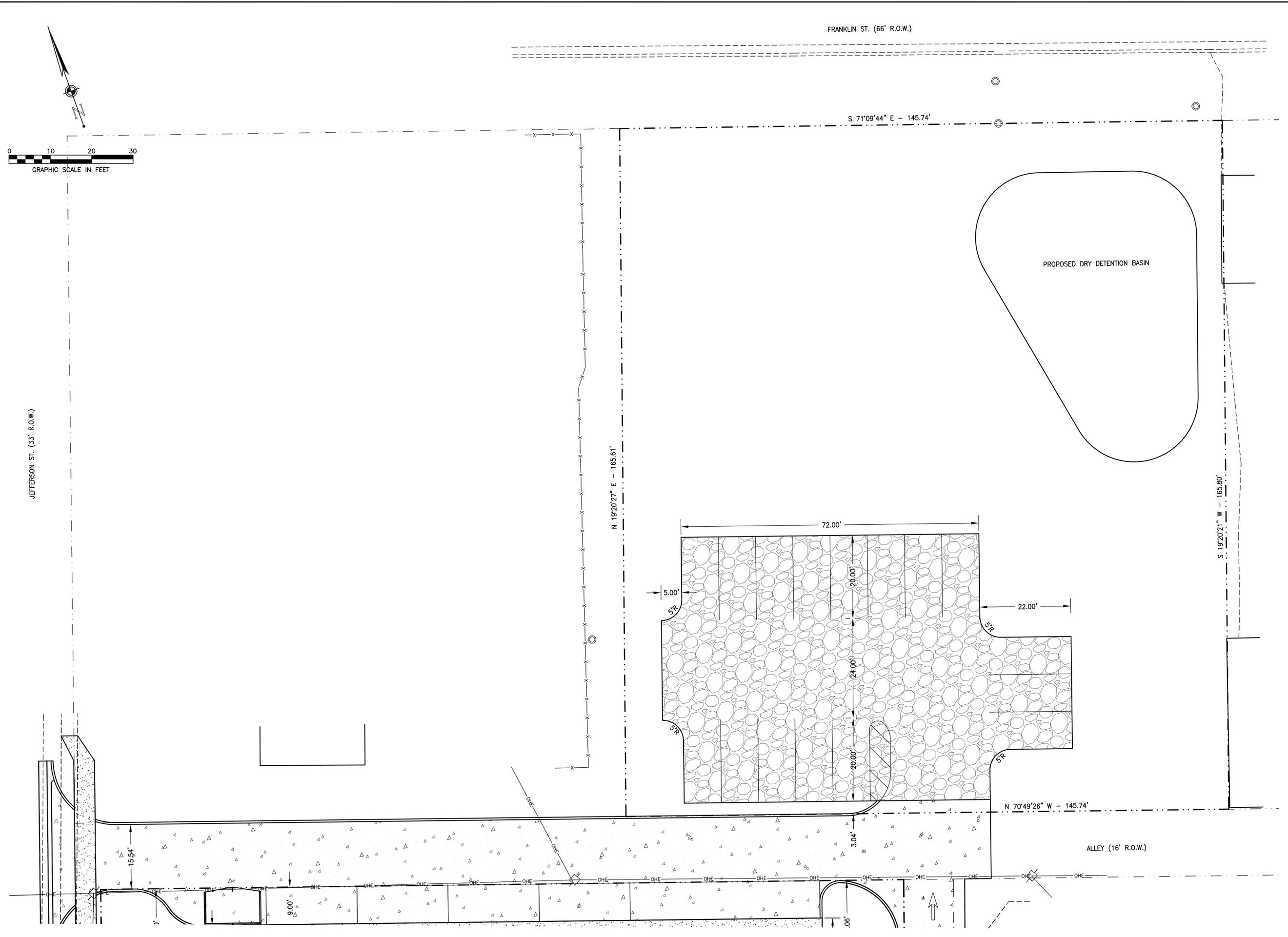
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SITE LAYOUT PLAN - SOUTH

NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

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| PROJECT: 13-1601 |
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| DATE: 8/20/16 |
| SHEET: C2 |



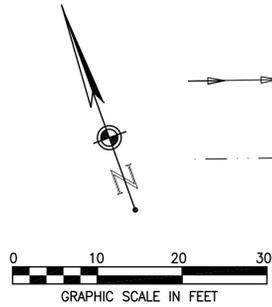
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SITE LAYOUT PLAN - NORTH

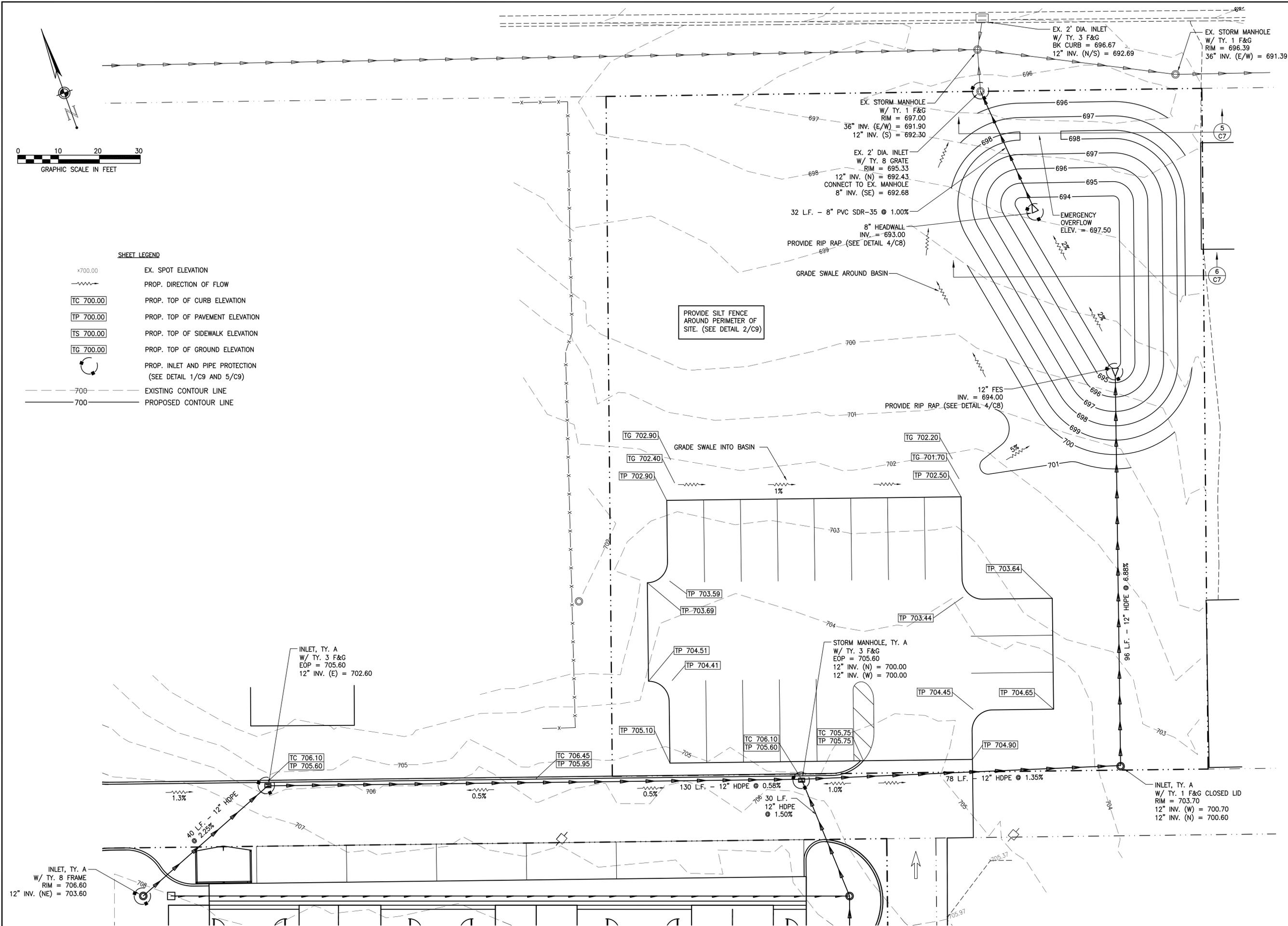
NEW RETAIL BUILDING
 602 E. MAIN ST.
 MAHOMET, ILLINOIS

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| PROJECT: 13-1601 |
| DESIGN BY: BKB |
| DRAWN BY: BKB |
| DATE: 8/20/16 |
| SHEET: C3 |



SHEET LEGEND

- x700.00 EX. SPOT ELEVATION
- ~ PROP. DIRECTION OF FLOW
- TC 700.00 PROP. TOP OF CURB ELEVATION
- TP 700.00 PROP. TOP OF PAVEMENT ELEVATION
- TS 700.00 PROP. TOP OF SIDEWALK ELEVATION
- TG 700.00 PROP. TOP OF GROUND ELEVATION
- ⊙ PROP. INLET AND PIPE PROTECTION
(SEE DETAIL 1/C9 AND 5/C9)
- - - 700 - - - EXISTING CONTOUR LINE
- 700 — PROPOSED CONTOUR LINE



| REVISIONS NO. | DATE | DESCRIPTION |
|---------------|---------|-------------------|
| 1 | 10/5/16 | VILLAGE REVISIONS |

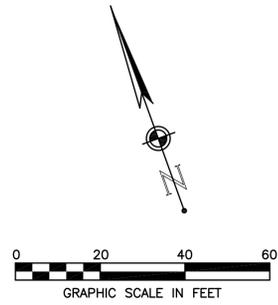
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GRADING PLAN - NORTH

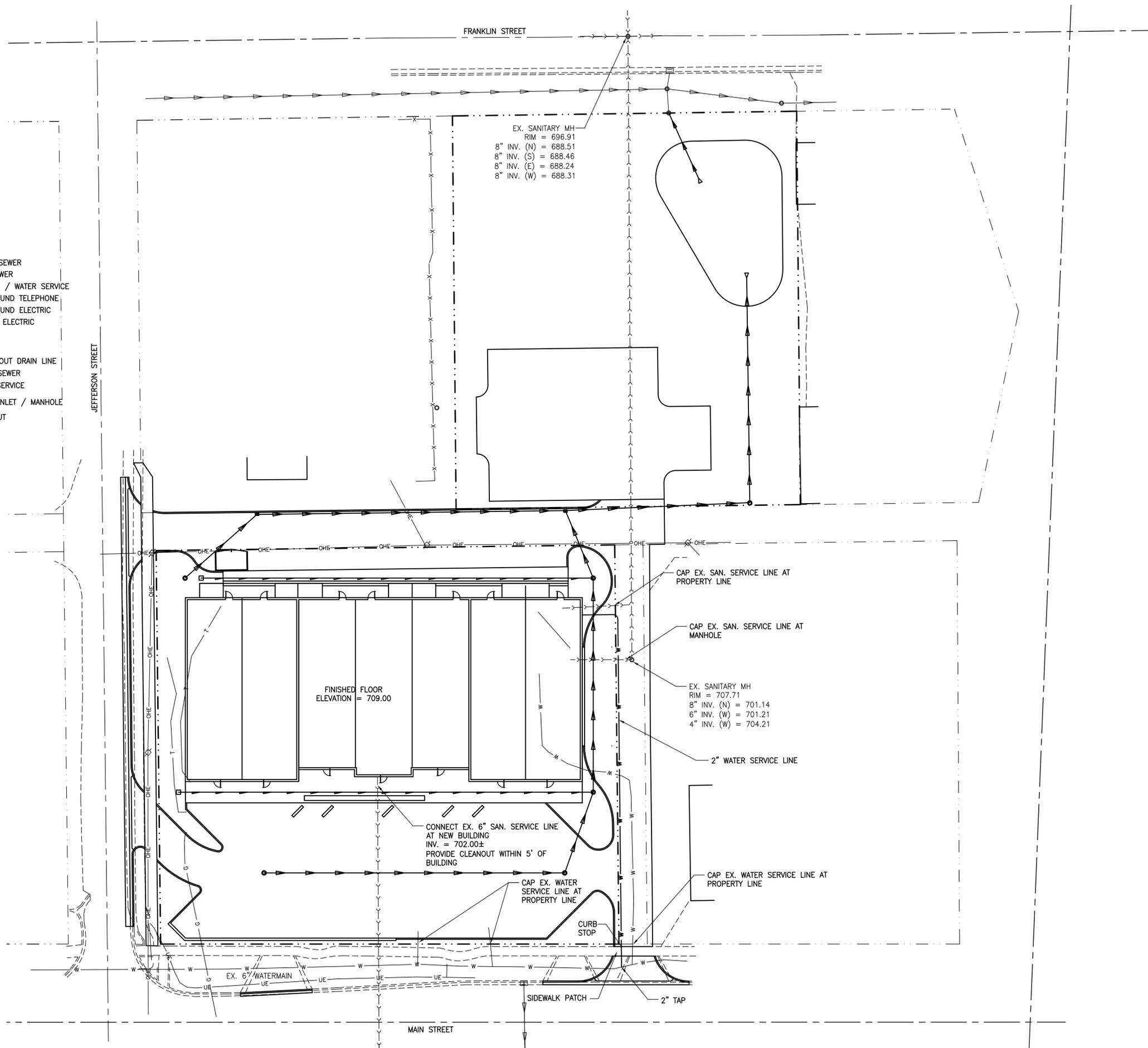
NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

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| PROJECT: 13-1601 |
| DESIGN BY: BKB |
| DRAWN BY: BKB |
| DATE: 8/20/16 |
| SHEET: C5 |



SHEET LEGEND

| | |
|--|------------------------------------|
| | EXISTING SANITARY SEWER |
| | EXISTING STORM SEWER |
| | EXISTING WATERMAIN / WATER SERVICE |
| | EXISTING UNDERGROUND TELEPHONE |
| | EXISTING UNDERGROUND ELECTRIC |
| | EXISTING OVERHEAD ELECTRIC |
| | EXISTING GAS LINE |
| | EXISTING MANHOLE |
| | PROPOSED DOWNSPOUT DRAIN LINE |
| | PROPOSED STORM SEWER |
| | PROPOSED WATER SERVICE |
| | PROPOSED STORM INLET / MANHOLE |
| | PROPOSED CLEANOUT |



| REVISIONS NO. | DATE | DESCRIPTION |
|---------------|------|-------------|
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UTILITY PLAN
NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET:
C6

GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS: STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS (DOT STANDARD SPECIFICATIONS), VILLAGE OF MAHOMET ILLINOIS ORDINANCES AND STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR SAFETY ON THE JOB SITE, NOR SHALL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. NEITHER THE PROFESSIONAL ACTIVITIES OF THE ENGINEER NOR THE PRESENCE OF THE ENGINEER AT A CONSTRUCTION SITE SHALL RELIEVE THE CONTRACTOR OF THEIR OBLIGATIONS, DUTIES, AND RESPONSIBILITIES INCLUDING ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES.
- CONTACT JULIE FOR UTILITY LOCATIONS BEFORE PERFORMING ANY EXCAVATIONS WITHIN RIGHT-OF-WAY OR EASEMENTS (1-800-892-0123).
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS SHOWN ON THE PLANS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONS OR LOCATIONS THAT DEVIATE FROM THE PLANS.
- WHENEVER CONSTRUCTION OPERATIONS ENCOACH ON THE VILLAGE RIGHT-OF-WAY, TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND STATE STANDARDS TO THE SATISFACTION OF THE VILLAGE OF MAHOMET.
- NO MATERIALS OR EQUIPMENT SHALL BE STORED OR STOCKPILED WITHIN PUBLIC RIGHT-OF-WAY OR ON ADJACENT LOTS.
- ALL FIELD TILES, DRAINS AND UTILITIES CUT DURING CONSTRUCTION SHALL BE REPLACED OR REROUTED AT THE DIRECTION OF THE ENGINEER OR THE VILLAGE OF MAHOMET. ALL DRAINAGE FACILITIES WHICH ARE BROKEN OR DAMAGED DURING CONSTRUCTION SHALL BE RESTORED AS NEARLY AS POSSIBLE TO THEIR ORIGINAL STATE BY THE CONTRACTOR, EXCEPT THAT ALL FIELD TILES SHALL BE CONNECTED TO THE STORM SEWER SYSTEM WHERE NECESSARY FOR PROTECTION OF IMPROVEMENTS OR PREVENTION OF UPSTREAM FLOOD DAMAGE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE ENGINEER OF ALL SEVERED LINES AND TO REPLACE OR REROUTE PROMPTLY AT NO ADDED COST TO THE OWNER.
- ANY EXISTING IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION.

PAVING CONSTRUCTION NOTES:

- PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS, THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" IN ILLINOIS, LATEST EDITION AND VILLAGE OF MAHOMET ORDINANCES.
- PARKING LOT PAVEMENT SHALL BE PORTLAND CEMENT CONCRETE PAVEMENT, CLASS PV, 6" THICK.
- PAVEMENT SHALL BE SAWS WITH CONTRACTION JOINTS AT A MAXIMUM OF 12 FOOT INTERVALS.
- LONGITUDINAL CONSTRUCTION JOINTS SHALL BE TIED WITH #4 EPOXY COATED DEFORMED TIE BARS, 30-INCH LONG AT 30-INCH INTERVALS. ALL JOINT PATTERNS ARE TO BE APPROVED BY THE OWNER.
- SAWING OF JOINTS SHALL COMMENCE AS SOON AS THE CONCRETE HAS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE REVELLING, BUT NO LATER THAN TEN (10) HOURS AFTER THE CONCRETE HAS BEEN PLACED. ALL JOINTS SHALL BE SAWS TO THE FULL DEPTH AS SHOWN IN THE DETAILS, BEFORE UNCONTROLLED SHRINKAGE CRACKING TAKES PLACE.
- JOINT SEALER SHALL BE PROVIDED AT ALL PAVEMENT JOINTS. JOINT SEALER SHALL BE POLYURETHANE SELF-LEVELING SEALER. COLOR TO MATCH NEW CONCRETE.
- PARKING LOT PAVEMENT SHALL BE BITUMINOUS SURFACE TREATMENT, CLASS A-2, IN ACCORDANCE WITH SECTION 403 OF THE IDOT STANDARD SPECIFICATION. THE WORK SHALL CONSIST OF A PRIME COAT, A BITUMINOUS COVER COAT MATERIAL AND A COVER COAT AGGREGATE, AND A BITUMINOUS SEAL COAT MATERIAL AND SEAL COAT AGGREGATE. THE BITUMINOUS MATERIAL, AS SPECIFIED FOR PRIME COAT, SHALL BE APPLIED UNIFORMLY AT THE RATE OF 0.30 GAL/SQ YD. THE BITUMINOUS MATERIAL, AS SPECIFIED FOR COVER COAT IN ARTICLE 403.02, SHALL BE APPLIED UNIFORMLY OVER THE SURFACE AT THE RATE OF 0.35 GAL/SQ YD. IMMEDIATELY FOLLOWING THE APPLICATION OF THE BITUMINOUS MATERIAL, THE COVER COAT AGGREGATE SHALL BE SPREAD OVER THE TREATED SURFACE AT THE RATE OF 20 LB/SQ YD.
- THE SUBGRADE SHALL BE PREPARED SO THAT AFTER COMPACTION IT WILL CONFORM TO THE ALIGNMENT, GRADE AND CROSS-SECTION SHOWN ON THE PLANS. SOFT AND UNSTABLE MATERIAL THAT WILL NOT COMPACT SHALL BE REMOVED AND REPLACED. THE ENTIRE SUBGRADE SHALL BE COMPACTED TO NOT LESS THAN NINETY-FIVE PERCENT (95%) OF THE STANDARD LABORATORY DENSITY. TOPSOIL MATERIALS SHALL NOT BE UTILIZED FOR SUBGRADES.
- PCC SIDEWALK SHALL BE 6" THICK UNLESS OTHERWISE NOTED. CROSS SLOPES SHALL BE 1/4" PER FOOT. SCORE JOINTS ARE TO BE HAND TOOLED AT 1/2" NOMINAL DEPTH AND AT 5'-0" ON CENTER.

EROSION CONTROL NOTES:

- INSTALL SILT FILTER FABRIC AND INLET PROTECTION AS NOTED ON THE PLANS. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND ANY NOTED DEFICIENCIES SHALL BE REPAIRED IMMEDIATELY. EROSION CONTROL MEASURES SHALL ALSO BE INSPECTED AFTER ANY SIGNIFICANT RAIN EVENT (1/2 INCH ACCUMULATION WITHIN A 24 HOUR PERIOD) AND NOTED DEFICIENCIES REPAIRED IMMEDIATELY.
- SEEDING SHALL TAKE PLACE AS SOON AS FINISH GRADING OPERATIONS ARE COMPLETE, UNLESS DIRECTED OTHERWISE BY THE ENGINEER. ALL STRIPPED AREAS NOT ANTICIPATED TO HAVE CONSTRUCTION TAKE PLACE WITHIN 30 DAYS SHALL BE SEEDDED IMMEDIATELY, WEATHER AND SOIL CONDITIONS PERMITTING.
- ALL DISTURBED AREAS SHALL BE SEEDDED WITH CLASS 1B SEED MIXTURE OR EQUAL IN ACCORDANCE WITH SECTION 250 OF THE IDOT STANDARD SPECIFICATIONS. STRAW MULCH SHALL BE APPLIED TO ALL SEEDDED AREAS ACCORDING TO METHOD 2, PROCEDURE 2 OF ARTICLE 251.03 OF THE IDOT STANDARD SPECIFICATIONS. MULCH METHOD 2, PROCEDURE 2 SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS ON ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); EMBANKMENTS OF PONDS, BASINS, AND TRAPS; AND WITHIN FOURTEEN (14) DAYS ON ALL OTHER DISTURBED OR GRADED AREAS. THE REQUIREMENTS OF THIS SECTION DO NOT APPLY TO THOSE AREAS WHICH ARE SHOWN ON THE PLAN AND ARE CURRENTLY BEING USED FOR MATERIAL STORAGE OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED.

GRADING NOTES:

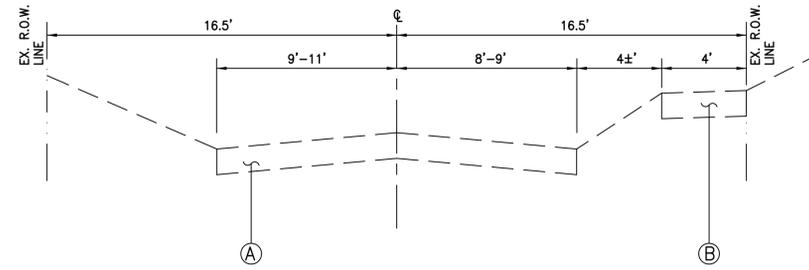
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING INCLUDING EXCAVATION, EMBANKMENT AND BACKFILLING AS NECESSARY TO CONSTRUCT ALL PAVEMENT TO THE ELEVATIONS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING STORM OR SANITARY MANHOLES OR OTHER EXISTING UTILITIES DURING GRADING.
- ALL TRENCHING OPERATIONS WITHIN A PREPARED SUBGRADE SHALL BE BACKFILLED IN SUCH A MANNER THAT THE SUBGRADE WILL REMAIN IN THE CONDITION EXISTING BEFORE CONSTRUCTION OPERATIONS BEGAN. THE CONTRACTOR WILL BE HELD LIABLE FOR THE COST OF ANY GRADING OPERATIONS NECESSARY TO CORRECT FAULTY BACKFILLING OR CLEANUP PROCEDURES.
- EXISTING VEGETATION AND TOPSOIL SHALL BE REMOVED AND STOCKPILED AS DIRECTED BY THE OWNER'S REPRESENTATIVE. REMOVAL SHALL BE TO A DEPTH AS NEEDED TO REMOVE ALL ORGANIC MATERIAL.
- SUBGRADE WITHIN THE PROPOSED PAVEMENT AND BUILDING SITE AREAS SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE STANDARD LABORATORY DENSITY IN ACCORDANCE WITH SECTION 205 OF THE STANDARD SPECIFICATIONS.
- LANDSCAPED AREAS SHALL RECEIVE A MINIMUM OF 6 INCHES OF TOPSOIL IN EMBANKMENT AREAS. EXCAVATION AREAS SHALL BE UNDERCUT 6 INCHES IN LANDSCAPED AREAS TO ACCOMMODATE 6 INCHES OF TOPSOIL TO FINISH GRADE. AREAS SURROUNDING PROPOSED TREES SHALL RECEIVE A MINIMUM OF 24 INCHES OF TOPSOIL.

UTILITY CONSTRUCTION NOTES:

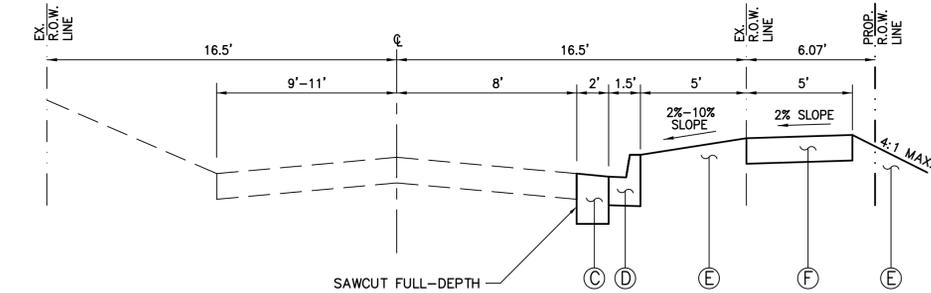
- CONTRACTOR SHALL VERIFY THE LOCATION AT BUILDING OF ALL PROPOSED UTILITIES WITH THE BUILDING PLANS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF ALL EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION OR ORDERING STORM SEWER STRUCTURES.
- CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- ALL TRENCHING OPERATIONS BENEATH PROPOSED PAVEMENT CURB AND GUTTER OR SIDEWALK OR WITHIN 2' THEREOF SHALL BE BACKFILLED WITH TRENCH BACKFILL.
- CONTRACTOR SHALL CONDUCT AN EXPLORATORY EXCAVATION TO DETERMINE POTENTIAL CONFLICTS BETWEEN EXISTING UNDERGROUND UTILITIES AND THE PROPOSED STORM SEWER / SANITARY SEWER / WATER SERVICE. THE EXCAVATION SHALL BE PERFORMED PRIOR TO ANY UTILITY WORK AT THE BUILDING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY VERTICAL OR HORIZONTAL CONFLICTS.
- ALL STORM SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION, ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. STORM SEWER 12-INCH DIAMETER AND GREATER SHALL BE REINFORCED CONCRETE PIPE AND STORM SEWER 10-INCH DIAMETER AND SMALLER SHALL BE PVC.
- ALL WATER SERVICE MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH VILLAGE OF MAHOMET REQUIREMENTS. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH THE VILLAGE.
- ALL WATER SERVICES SHALL BE SEPARATED FROM DRAINS, SANITARY AND STORM SEWERS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND DETAIL 8/C6.

TYPICAL SECTION KEY

- (A) EX. OIL & CHIP PAVEMENT (THICKNESS UNKNOWN)
- (B) EX. CONCRETE SIDEWALK
- (C) PORTLAND CEMENT CONCRETE WIDENING, 10" THICK
- (D) COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12
- (E) FURNISH & PLACE TOPSOIL, 6" THICK
- (F) PORTLAND CEMENT CONCRETE SIDEWALK, 6" THICK

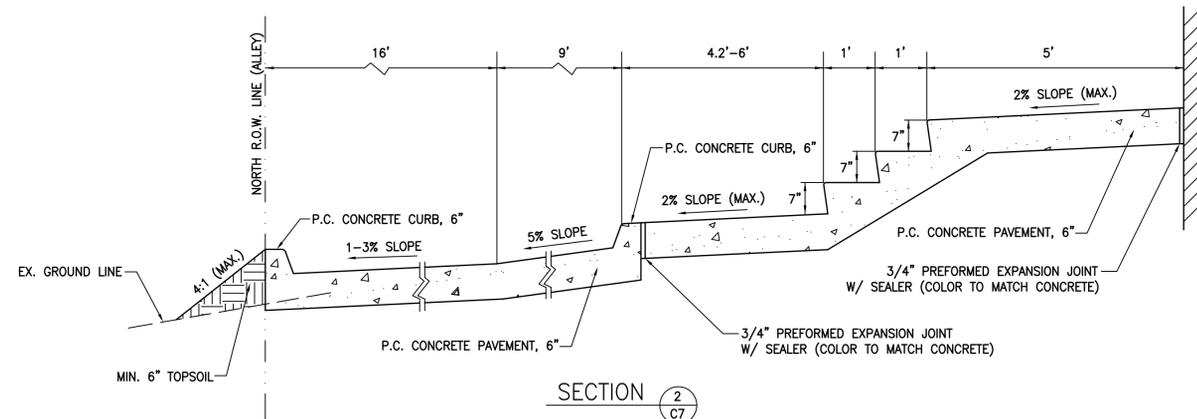


EXISTING TYPICAL SECTION

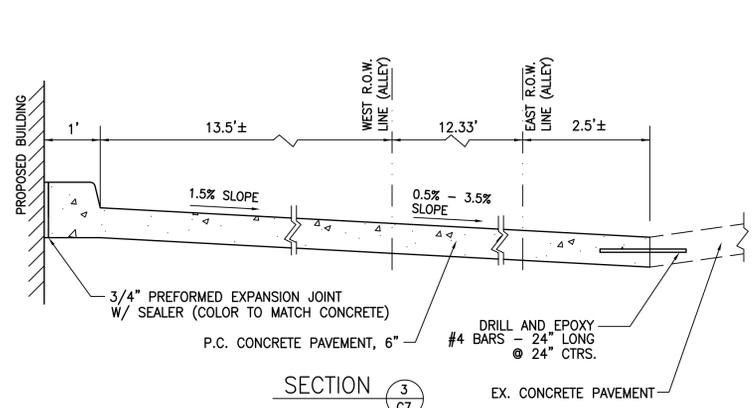


PROPOSED TYPICAL SECTION

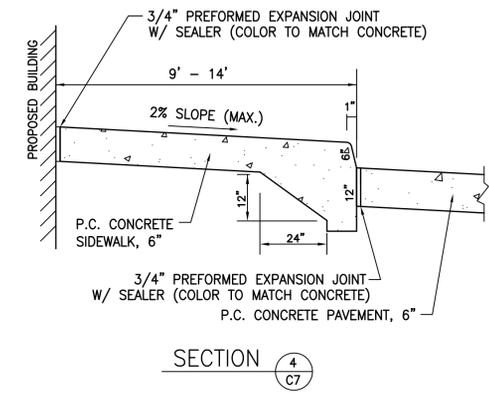
SECTION 1 JEFFERSON STREET



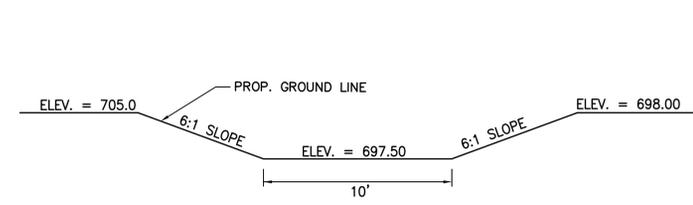
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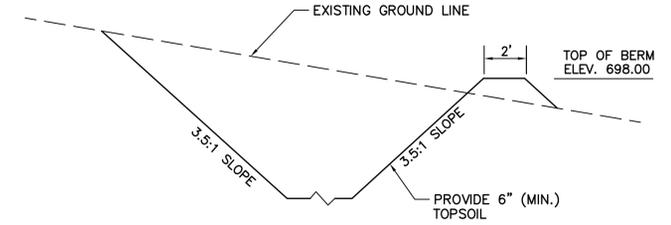
SECTION 3



SECTION 4



SECTION 5 BASIN EMERGENCY OVERFLOW



SECTION 6 DRY DETENTION BASIN

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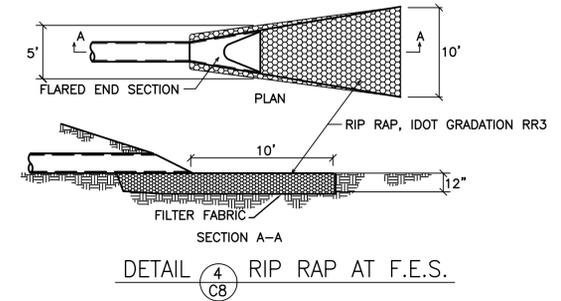
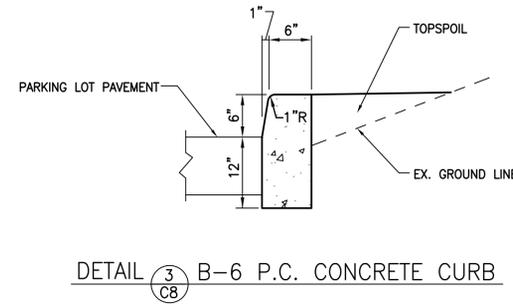
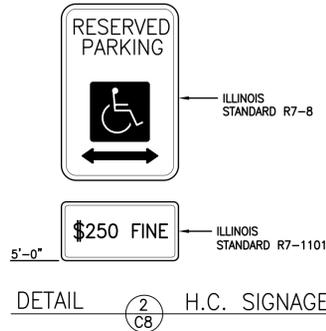
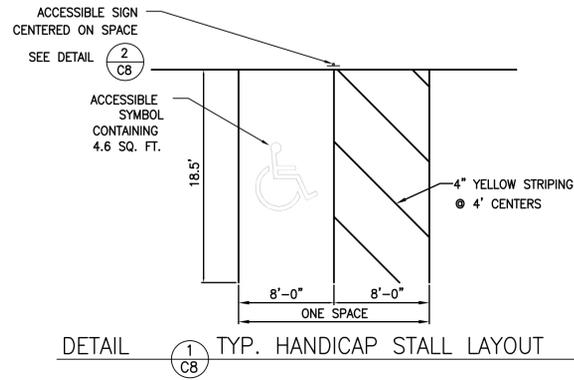
301 N. NEIL STREET, SUITE 400 | CHAMPAIGN, IL 61820
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NOTES AND SECTIONS

NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

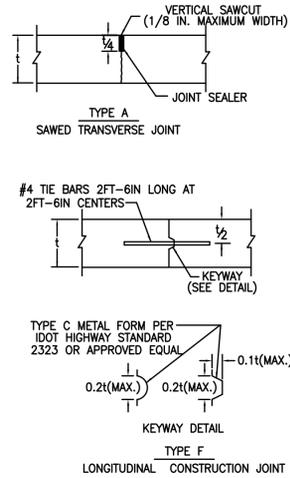
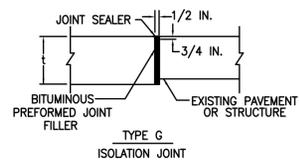
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| PROJECT: 13-1601 |
| DESIGN BY: BKB |
| DRAWN BY: BKB |
| DATE: 8/20/16 |
| SHEET: C7 |

- PAVEMENT MARKINGS SHALL CONFORM TO SECTION T-502 OF THE STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS.
- ALL PARKING STRIPING SHALL BE YELLOW.
- ACCESSIBLE SYMBOLS SHALL BE LARGE SIZE CONTAINING 4.6 SQ. FT. OF AREA EACH.
- REFER TO PAVING PLAN FOR PLACEMENT OF ACCESSIBLE SIGNAGE. SIGNS SHALL BE CENTERED ON EACH 16' SPACE.
- ACCESSIBLE SIGNS SHALL CONSIST OF ILLINOIS STANDARD SIGNS: R7-8 "ACCESSIBILITY SYMBOL" R7-1101 "\$250 FINE"
- SLOPE OF ACCESSIBLE SPACES SHALL NOT EXCEED 2.00% IN ANY DIRECTION.

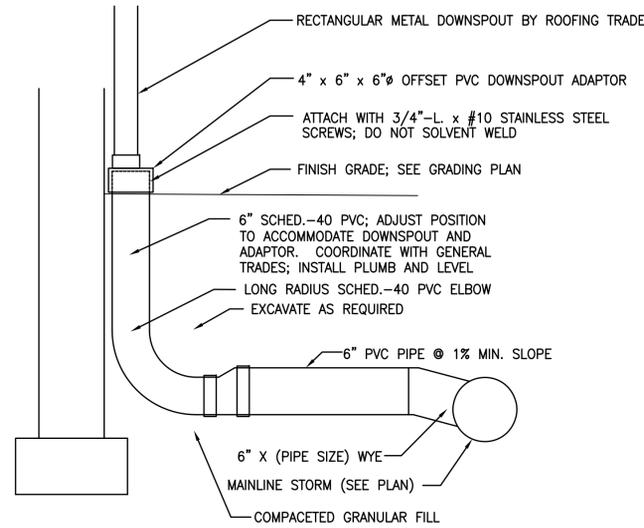


GENERAL NOTES

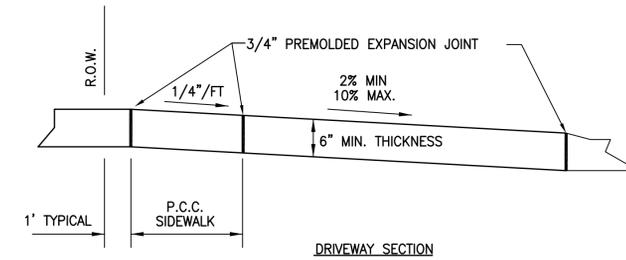
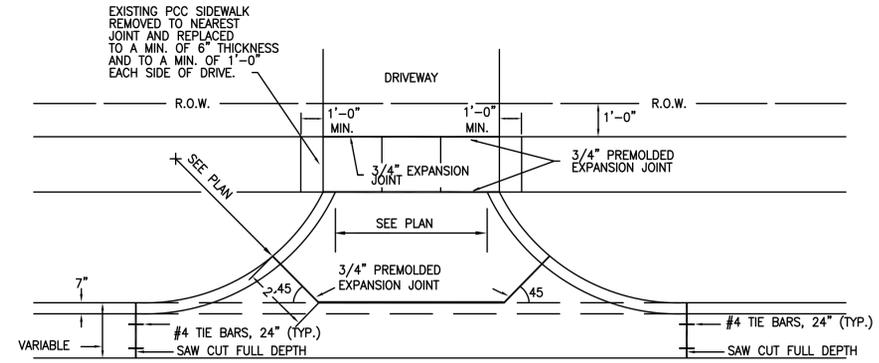
- ALL JOINTS MUST BE CONTINUOUS ACROSS THE PAVEMENT AND EXTEND THROUGH CURBS, EXCEPT TIED TRANSVERSE CONSTRUCTION JOINTS.
- TRANSVERSE JOINT SPACING SHALL NOT EXCEED 12 FEET.



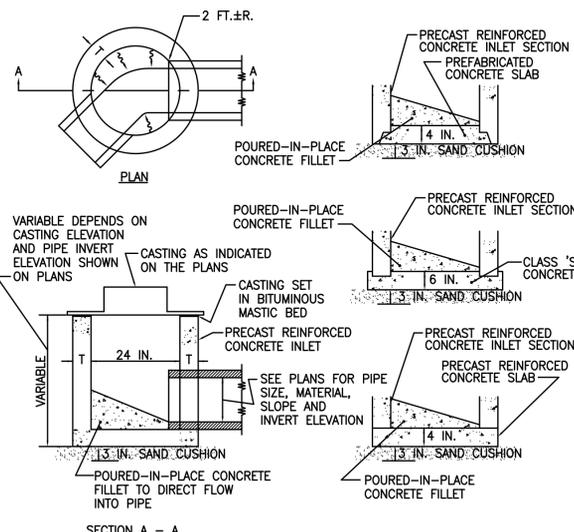
DETAIL 5 CONCRETE PAVEMENT JOINTS



DETAIL 6 DOWNSPOUT ADAPTOR



DETAIL 7 DRIVEWAY ENTRANCE



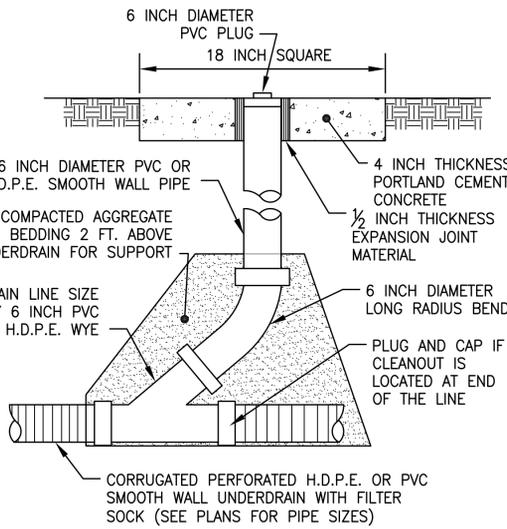
DETAIL 8 INLET TYPE A - MODIFIED

| ALTERNATIVE MATERIALS FOR WALLS | T |
|--------------------------------------|-------|
| PRECAST REINFORCED CONCRETE SECTIONS | 3 IN. |
| CONCRETE MASONRY UNITS | 5 IN. |
| CAST-IN-PLACE CONCRETE | 6 IN. |

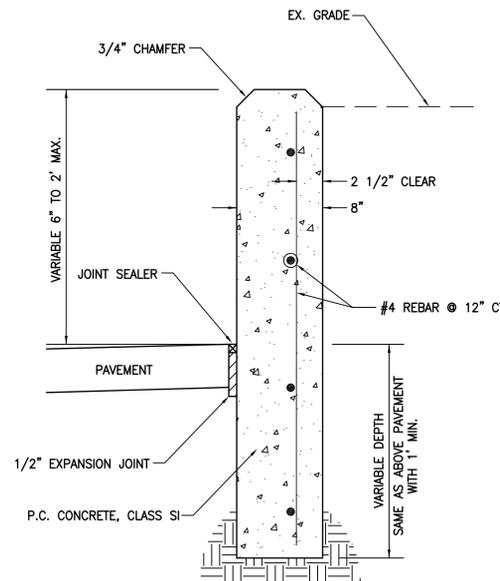
- NOTES:**
- ONLY PRECAST REINFORCED CONCRETE SECTIONS SHALL BE USED UNLESS PRIOR APPROVAL IS OBTAINED FROM THE VILLAGE ENGINEER.
 - THE OUTSIDE OF INLETS CONSTRUCTED OF CONCRETE MASONRY UNITS SHALL BE SEALED WITH A BITUMINOUS WATERPROOF MATERIAL.
 - INLETS SHALL COMPLY WITH THE APPLICABLE PORTIONS OF I.D.O.T. STANDARD 602301, LATEST EDITION AND THE APPLICABLE PROVISIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS.

FRAMES AND LIDS

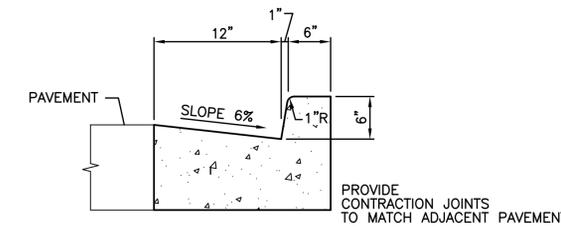
- FRAMES AND LIDS SHALL CONFORM TO THE FOLLOWING NEENAH CATALOG NUMBERS OR APPROVED EQUAL:
- R3502B FOR ROLL CURBS
 - R3281B FOR BARRIER CURBS
 - R2502D FOR FLAT PAVEMENT AND TURF AREAS
 - R4340B FOR TURF AREAS



DETAIL 9 CLEANOUT



DETAIL 10 CURB WALL



DETAIL 11 B-6.12 P.C. CONCRETE CURB & GUTTER

| REVISIONS | NO. | DATE | DESCRIPTION |
|-----------|-----|---------|-------------------|
| | 1 | 10/5/16 | VILLAGE REVISIONS |

BKB
ENGINEERING
301 N. NEIL STREET, SUITE 400 | CHAMPAIGN, IL 61820
CELL 217.840.3546 | OFFICE 217.531.2971 | FAX 217.531.2211

DETAILS
NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

PROJECT: 13-1601

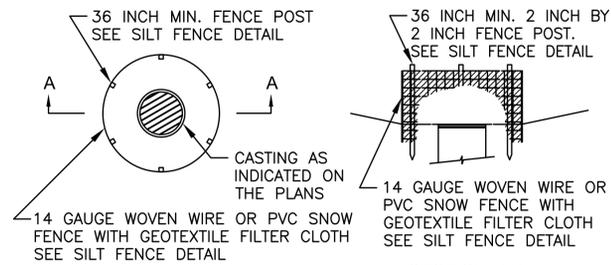
DESIGN BY: BKB

DRAWN BY: BKB

DATE: 8/20/16

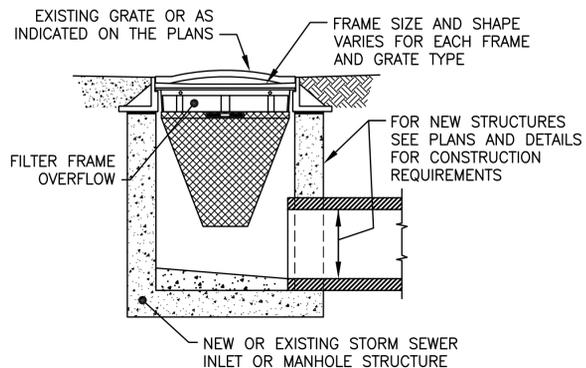
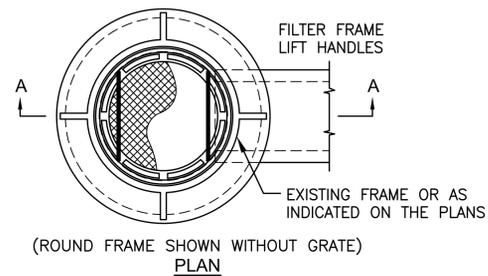
SHEET:

C8



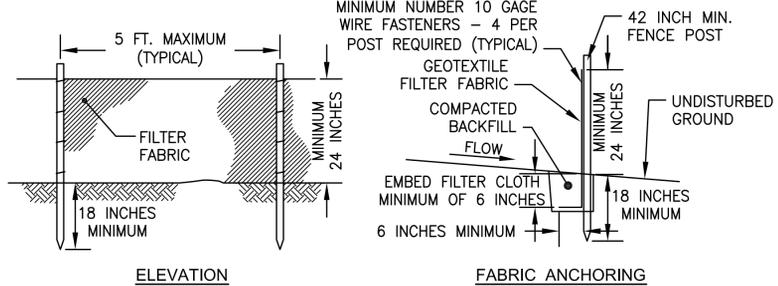
- NOTES:**
1. EMBED FABRIC 6 INCHES BELOW GROUND SURFACE.
 2. REMOVE SEDIMENT BUILDUP AFTER EACH RAIN EVENT.
 3. GEOTEXTILE SHALL BE WRAPPED OVER THE TOP MEMBER OF THE WELDED WIRE BY 6 INCHES AND SECURED WITH FASTENING RINGS AT 6 INCHES ON CENTER. THE FASTENING RING SHALL PENETRATE BOTH LAYERS OF GEOTEXTILE AND SECURELY CLOSE AROUND THE TOP STEEL MEMBER. GEOTEXTILE SHALL BE OVERLAPPED A MINIMUM OF 1 FOOT AND SECURED WITH FASTENING RINGS AT 6 INCHES ON CENTER OR SEWN WITH A TYPE 401 LOCK STITCH TO FORM A SOCK. IN LIEU OF SEWING, THE FASTENING RING SHALL PENETRATE BOTH LAYERS OF GEOTEXTILE AND SECURELY CLOSE AROUND A MEMBER OF THE WOVEN WIRE.

DETAIL 1 INLET PROTECTION (LAWN)



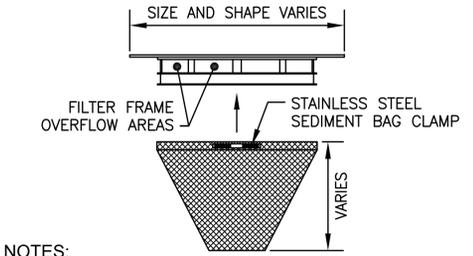
- NOTES:**
1. FILTER FRAMES FOR SEDIMENT BAGS SHALL BE SHAPED TO FIT INTO THE REQUIRED INLET OR MANHOLE FRAME AND GRATES. THE FILTER FRAME SHALL HAVE AN OVERFLOW FEATURE. THE SEDIMENT BAGS SHALL HAVE A SUPPORTING NET CAPABLE OF SUPPORTING A FULL SEDIMENT BAG.
 2. CONTRACTOR WILL BE REQUIRED TO CHECK AND EMPTY SEDIMENT BAGS AFTER EACH RAIN AND AT SUCH INTERVALS NEEDED TO CONTROL SILT BUILDUP. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SEDIMENT BAGS WHEN DISCOVERED.

DETAIL 5 INLET PROTECTION (PAVEMENT)

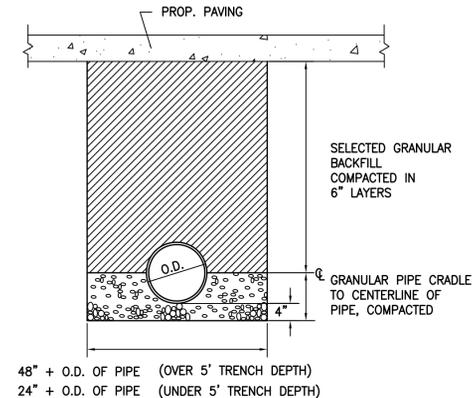
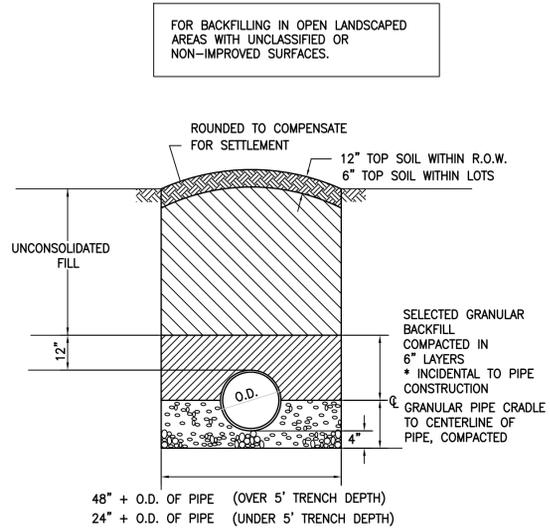


- NOTES:**
1. TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
 2. FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERILA SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS 1 WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
 3. FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQUARE INCHES.

DETAIL 2 SILT FENCE

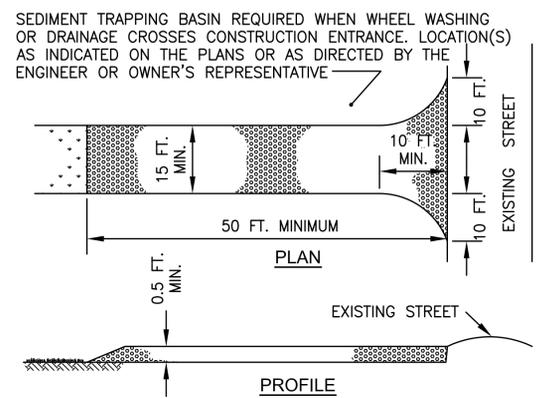


- NOTES:**
1. FRAME TOP FLANGE FABRICATED FROM 1/8 INCH FLAT STOCK. BASE RIM FABRICATED FROM 1 1/2 INCH BY 1/2 INCH BY 1/8 INCH. CHANNEL. ALL DOMESTIC STEEL CONFORMING TO ASTM-A36.
 2. SEDIMENT BAG FABRICATED FROM 4 OUNCE/SQUARE YARD NON-WOVEN POLYPROPYLENE GEOTEXTILE REINFORCED WITH POLYESTER MESH. BAG SECURED TO BASE RIM WITH A STAINLESS STEEL STRAP AND LOCK.
 3. UNIT SHALL COMPLY WITH THE REQUIREMENTS OF THE IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION
 4. REMOVE SEDIMENT FROM BAG WHEN BAG IS 1/3 FULL.



- NOTES:**
1. TRENCH SIDES SHALL BE VERTICAL TO A POINT 1'-0" ABOVE THE TOP OF THE PIPE. SLOPED SIDES MAY BE USED ABOVE THIS POINT. A 2FT. EXCAVATED SHELF SHALL BE MAINTAINED AROUND THE PERIMETER OF THE EXCAVATION.
- FOR BACKFILLING BENEATH RIGID PAVING INCLUDING WALKS, DRIVES, PARKING AREAS, ETC. AND WHEN INNER EDGE OF EXCAVATION IS WITHIN 2' OF EXISTING OR PROPOSED CURB, PAVEMENT, OR SIDEWALK.

DETAIL 3 UTILITY TRENCH



- NOTES:**
1. STONE SIZE - USE 2 INCH DIAMETER OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET LONG (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH MAY APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, THE FLOW SHOULD BE DIVERTED. AN APPROVED SEDIMENT TRAPPING DEVICE MAY BE REQUIRED BY THE ENGINEER'S OR OWNER'S REPRESENTATIVE. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
 8. WASHING - WHEELS AND UNDERSIDE OF VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO A SEDIMENT TRAPPING DEVICE AS APPROVED BY THE ENGINEER OR OWNER'S REPRESENTATIVE.
 9. CONTRACTOR MAY LOCATE CONSTRUCTION ENTRANCES TO ACCOMMODATE CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE PUBLIC ROAD AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION. WHEN CONSTRUCTION ENTRANCES MUST BE LOCATED IN AREAS WITH EXISTING STREET CURBS; WHERE POSSIBLE, LOCATE CONSTRUCTION ENTRANCES WHERE EXISTING STREET CURBS WILL BE REMOVED AS PART OF THE PROJECT. EXISTING STREET CURBS TO REMAIN MUST BE PROTECTED FROM DAMAGE IN AN APPROPRIATE MANNER SUCH AS RAMPS BUILT OF 6 INCH BY 6 INCH POSTS, 4 INCH BY 4 INCH POSTS AND 2 INCH BY 4 INCH TREATED LUMBER OR "COLD PATCH" OVER 4 INCH DIAMETER CONDUIT TO ALLOW GUTTER FLOW. CONTRACTOR SHALL REMOVE AND REPLACE ANY STREET CURBS DAMAGED DURING CONSTRUCTION.

DETAIL 4 STABILIZED CONSTRUCTION ENTRANCE

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

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DETAILS
 NEW RETAIL BUILDING
 602 E. MAIN ST.
 MAHOMET, ILLINOIS

| |
|------------------|
| PROJECT: 13-1601 |
| DESIGN BY: BKB |
| DRAWN BY: BKB |
| DATE: 8/20/16 |
| SHEET: C9 |



OCTOBER 2016
OPERATORS REPORT

WATER SYSTEMS OPERATION AND MAINTENANCE

- 1- September 2016 daily average pumpage 525,000 gallons/day. September 2015 daily average pumpage 553,000 gallons/day.
- 2- Excavating and replacing damaged curb boxes around town.
- 3- Excavated and installed new curb stop and box at 102 Jennifer drive. Could not locate the existing one.
- 4- Replacing water meters. Most have been commercial meters.
- 5- Had the water tower in Sandy ridge cleaned.
- 6- Replaced well #4 control breaker.
- 7- Flushed and collected new construction water samples in the first phase of Harvest Edge subdivision. Water main is now able to be placed in service.
- 8- Collected routine monthly bacti water samples.
- 9- Read water meters.
- 10- Submitted monthly operations reports to EPA.
- 11- Rented a lift and cleaned the lower 40 feet of the standpipe on North Division.

WASTEWATER SYSTEMS OPERATION AND MAINTENANCE

- 1- September 2016 daily average influent to the plant 729,000 gallons/day. September 2015 daily average influent to the plant 635,000 gallons/day.
- 2- The planking that is located between the two IFAS tanks was removed to be sandblasted and painted.
- 3- Primed and painted some of the exterior electrical junction boxes around the plant.
- 4- Pumped down the North secondary clarifier to pull the return activated sludge pumps to clean debris from the impeller housing.
- 5- Pressure washed the sand filter walls.



**TRANSPORTATION DEPARTMENT
SEPTEMBER 2016 MONTHLY REPORT
WORK COMPLETED AS OF October 5, 2016**

- Emptied trash cans on Main Street as needed.
- Lowered and raised the flags as ordered by the Governor's Office.
- Checked and cleaned storm drain grates as needed.
- Mowed all parks and Village facilities.
- Oil and boiler slag seal coated on Walnut, Dunbar and Maple Streets. Also swept and hauled off loose boiler slag.
- Moved furniture and appliances from the breakroom in advance of Stout's Building services applying epoxy floor coating in that room and in the light vehicle storage area.
- Oversaw the CIP crack sealing project at the following locations:
The Lakes at Riverbend S/D Main Street
Division Street State Street
Oak Creek S/D Jody Drive in Sandy Ridge S/D
- Replaced 10 sections of sidewalk between 301 and 303 W. State Street. The sidewalk travels north and south between the two houses and connects State Street and McKinley Court. The sidewalk was replaced with cold asphalt due to tree roots.
- Repaired a culvert at 305 W. Dunbar that a tree had grown into causing a drainage plug.
- Installed 30' of 15" storm sewer and two catch basins between and just west of 422 and 424 Dorchester Drive.
- Replaced a crosswalk section at the NE corner of Heather Drive and Olinger Drive in Sandy Ridge S/D.
- Replaced two section of sidewalk at 708 N. Craig Drive.
- Replaced one section of sidewalk at 303 E. Main Street. Also removed the sidewalk in the alley approach at the same address and replaced with cold asphalt.

- Hauled off fill dirt pile that we had collected from various excavation projects.
- Put the leaf boxes in the smaller trucks.
- Removed sidewalk, installed a drainage tube and re-poured concrete in front of the Police Department. Also sealed between the sidewalk and building to try to keep water out of the building

SPECIAL EVENTS

- Two block parties in whisper meadow.
- Block party in Ridge Creek.
- M-S Schools Dawg Walk.
- Walk For Water – New Beginnings Lutheran Church.
- Cornbelt FPD Hose Test.
- Cornbelt FPD Open House.

PARKS AND RECREATION

- Assisted with mowing while Dennis was on vacation.

WATER AND WASTEWATER

- None.

VEHICLE AND EQUIPMENT MAINTENANCE

- Serviced the leaf vacuums.