



Village of Mahomet

503 E. Main Street - P.O. Box 259 - Mahomet, IL 61853-0259
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PLAN AND ZONING COMMISSION

TUESDAY, October 4, 2016

7:00 P.M.

AT THE VILLAGE OF MAHOMET ADMINISTRATIVE OFFICE

AGENDA

1. CALL TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT: The Commission welcomes your input. You may address the Commission by completing the information requested on the sign in/oath sheet before the meeting. You may address the Commission at this time on items that are not on the agenda. Please state your name and address and for the record. Please limit your comments to five minutes or less.

4. REVIEW/APPROVE MINUTES: September 6, 2016

5. PUBLIC HEARING

CONDITIONAL USE FOR A "SHOPPING CENTER" ON THE PROPERTIES COMMONLY KNOWN AS 602, 604, 606, 606 ½ AND 606 ¼ E. MAIN

6. ORDINANCES, RESOLUTIONS and MOTIONS (TO BE ACTED UPON)

CONDITIONAL USE FOR A "SHOPPING CENTER" ON THE PROPERTIES COMMONLY KNOWN AS 602, 604, 606, 606 ½ AND 606 ¼ E. MAIN

8. COMMISSIONER COMMENTS

NEXT MEETING NOVEMBER 1, 2016 7:00 P.M.

PLAN AND ZONING COMMISSION
MEETING MINUTES
September 6, 2016

The Plan and Zoning Commission met, Tuesday, September 6, 2016 at 7:00 p.m.

Mr. Roloff called the meeting to order.

MEMBERS PRESENT: Steve Briney, Bob Buchanan, Jay Roloff, Robert DeAtley, Mike Buzicky and Earl Seamands.

MEMBERS ABSENT: Abby Heckman

OTHERS PRESENT: Village Administrator Patrick Brown, Community Development Director Kelly Pfeifer, Village Attorney Jim Evans, Gloria Wisehart, and Amelia Benner.

PUBLIC COMMENT: There was no public comment.

APPROVAL OF MINUTES:

Briney moved and DeAtley seconded to approve the minutes for the July 5, 2016 meeting. ROLL CALL, Briney, YES; Buchanan, YES; DeAtley, YES; Buzicky, YES; Roloff, YES; Seamands, YES. Motion Passed.

PUBLIC HEARING: NONE

PRELIMINARY DISCUSSION CONCERNING REZONING FROM R2 TO R3 FOR MULTIPLE PROPERTIES- 204 S. LINCOLN, 408 E. DUNBAR AND 410 E. DUNBAR, MAHOMET, ILLINOIS.

Kelly Pfeifer explained that Nathan Mills owns the property and wants to build a multi-family building. She noted he is not present and this was to be a pre-preliminary discussion to gauge receptiveness to a rezoning and a density requirement not based on land area per dwelling. He wanted to know what concerns the commission may have as he explores options.

Pfeifer explained that he also owns the other two properties (which face and are accessed off of Dunbar) which means he owns property adjacent to the entire length of the alley. Pfeifer said that having one owner with frontage along the entire length of the alley facilitates improvements and could secure the access and functionality of the property owners along the north side – the Main Street merchants. She said that over a year ago Nathan approached the Village about the potential for development and area improvements. At that time legal descriptions did not show any public alleyway. So staff's concern was that if the parcel was developed, there would be a potential that some of the buildings on the south side of that block of Main Street may not have access to the rear of their buildings – or it would at a minimum require exploring legal rights. Official

dedication would be a secure method to assure access for properties on the north that have frontage on an official public alley.

Pfeifer said Mr. Mills had the property surveyed after he purchased it, the deed research did show that there is a 12 foot alleyway easement along the entire length. However, functionally, at least 16 feet are needed. He would be dedicating four (4) feet of alley way to the Village of Mahomet so there is a total of 16 feet. But the loss of the four feet can be significant in developing because land area is the current basis for the number of residential units permitted on property.

She explained that an aspect of any development concept that he would desire would be that driveway entrances to the units would be from the alley and that detention would be in the southeast corner of the property.

Buchanan said that the construction of the alley was a concern and he thought it should maybe be concrete. Brown indicated that we do not have concrete alleys. DeAtley, and others, expressed that they would be most concerned about parking which is already tight in the area and how the parking would be managed. Pfeifer indicated that staff believed access via the alley was better for parking pressure in the area because a driveway off of Lincoln would remove two street parking spaces on Lincoln.

Pfeifer said that the R-3 zoning would be a more customary zoning adjacent to high density commercial. And the size of the parcel being used for only two dwellings is not efficient and would be under-utilizing the land. The new Comprehensive Plan also indicates the need for more housing around the downtown to support local businesses.

When asked, Pfeifer explained that the other two properties are owned by Mr. Mills and also zoned R-2. They currently have single family homes on them. So the sum total of the land area right now could have four (4) units added. And that potentially the commission would be asked to consider at a minimum allowing all four units to be on the one vacant property if the other two lots remained as used. She added that those parcels have frontage on the alley but not accessed off the alley.

Pfeifer said that one of the considerations that she was asked to get feedback on was related to density. Ordinances control density by requiring a minimum land area for each dwelling. It does not limit the number of bedrooms which would limit the number of people in the area. So, for example, a duplex could be created with 4-6 bedrooms in each side. So, there could be 12 bedrooms on the property as it sits as R-2. As an R-3 the lot could have 5-7 units. One of the development concepts may be to provide executive type housing with 1 and 2 bedroom units. Pfeifer asked if the commission would be receptive to a plan that limits by bedrooms instead of by unit.

Buzicky said that he thought Mr. Mills should come with a couple of plans for them to review and discuss as a next step.

DeAtley added a final concern and said that it would be important to him that the adjacent owners are not opposed to a rezoning. Kelly does not anticipate opposition from the residents from the south of the property, but says that owners of property within 200 feet receive direct notice of all rezoning and conditional use public hearings.

Pfeifer thanked the commission on behalf of Mr. Mills and said she would relay their thoughts, concerns and ideas on next steps to him.

RESOLUTION CONCERNING THE FINAL PLAT FOR PRAIRIE CROSSING FOURTH SUBDIVISION- 44 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION.

Pfeifer summarized the case. The final plat is being presented for approval for the last phase of Prairie Crossing Subdivision and requires no waivers. The construction is largely done and the developers are preparing recording documents. The lots comply with zoning and the overall plat is consistent with the preliminary plat. She noted that there is a feature of this plat that is a new convention she is requiring for flood routes. These flood routes (swales) will now be shaded with notes of the limitations on the plat itself.

In this subdivision, she stated, these significant drainage swales (flood routes) are along Lots 432,431, 405, 406, 410, 409, 420 and 421. This would be detailed in the owner's certificate because those lots will have a portion where grading must remain as on the original construction plans, no plantings or structures (even temporary) can be there including fences. Making this more obvious on the plat itself should assist purchasers in understanding the constraints so staff do not have to "break the bad news" at the stage of receiving a building permit application. Jim Evans stated this would be a priority for home owners and real estate agents to be aware of.

Roloff asked the commission if there were any questions. Seeing none, he indicated he would entertain a motion pertaining to the prepared resolution for a recommendation to the Board of Trustees related to the approval of the final plat as presented.

DeAtley moved and Buchanan seconded to approve the resolution as modified indicating a recommendation to the Board of Trustees to approve the final plat. ROLL CALL, Briney, YES; Buchanan, YES; DeAtley, YES; Buzicky, YES; Roloff, YES; Seamands, YES. Motion Passed.

ADJOURNMENT:

Roloff asked the commission is there were any comments or questions

DEATLEY MOVED, BRINEY SECONDED TO ADJOURN THE MEETING AT 7:55 P.M. ROLL CALL, Briney, YES; Buchanan, YES; DeAtley, YES; Buzicky, YES; Roloff, YES; Seamands, YES. Motion Passed.

Respectfully, Kelly Pfeifer



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REPORT TO PLAN AND ZONING COMMISSION Meeting Date – October 4, 2016

FROM: Kelly Pfeifer, Village Planner

PROJECT: **CONDITIONAL USE PERMIT: 602-606 E Main Street**

PETITIONER: Jody Wesley, representative for One East Main, LLC

PUBLIC HEARING: Scheduled for October 4, 2016 at 7 p.m. Public hearings can be closed or continued to another meeting without any action on the case. Notice was published in the Mahomet Citizen. Letters were sent to neighbors via USPS.

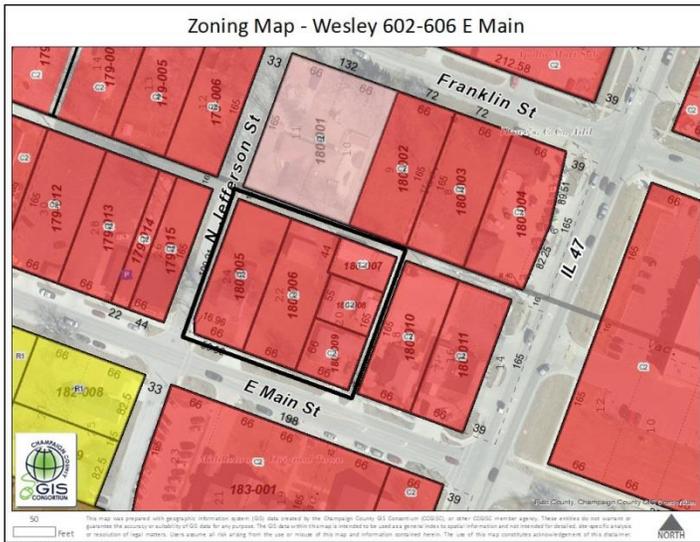
REQUESTED ACTION: A conditional use to permit establishment of a 12,660 SF “shopping center” in the Commercial Core area of Mahomet on a ~32,600 SF parcel. The development as proposed is a conditional use in the C-2 General Commercial Zoning District.

OVERVIEW: The petitioner desires to construct a small “shopping center” on the five (5) lots recently cleared of single family homes, garages and sheds. As one of the conditions of the conditional use, a list of permitted and conditional uses concerning tenants and types of uses in the building is requested. A site development plan has been submitted. Factors related to the physical features of the site are also a part of the conditional use, and requirements can be established that vary from those in current Village ordinances. The petitioner submitted a site and grading plan with off-site improvements and minor public improvements for consideration.

LOCATION / SIZE DESCRIPTIONS: The subject property is currently five (5) lots that make up the southwest quadrant of the 600 block of E. Main Street along the north side of the street. The lots will be temporarily created as a zoning lot and then be platted by “major subdivision” into one (1) lot. The zoning lot is a legal method of assembly of several lots into a single parcel for building permit purposes. Deed restrictions tie the parcels together forever. This method enables construction of the building to begin before the approval and processing of a subdivision which will take several months.

LAND USE AND ZONING:

Direction	Land Use
On-Site	Now Vacant (previously residential)
North	Youth Center- MAYC and vacant lots
South	Sangamon School across Main St.
East	Restaurants – Taffie’s and Wingery
West	Mahomet Township Building across Jefferson St.



The site is zoned C-2 General Commercial and a “shopping center” type of development is not a permitted use in any district. It is a conditional use in the C-2 General Commercial District.

The site is surrounded by commercial zoning. The current site of MAYC is neighborhood commercial and future residential uses with commercial on that property would not conflict with the local service uses anticipated by this development.

PUBLIC WATER AND SANITARY SEWER FACILITIES:

Public sanitary sewers and water mains are available for the site. Village Water and Wastewater Superintendent, Jason Heid, reviewed the site plan

and investigated the condition and capacities of the mains. He concludes that no new public mains should be required. One or more of the existing service lines may be able to be reused. See attached Utility Plan Sheet.

AVAILABILITY OF PUBLIC UTILITIES: This site is in the general vicinity of standard public utilities. There is even high speed fiber optic cable for high speed internet service along the south side of Main Street.

STORMWATER MANAGEMENT: The development of the site must comply with the Village stormwater management ordinance. The runoff rate from 1972 is exempted so the developers generally only have to design for the difference. This site development concept includes construction of the stormwater management basin at an off-site location in the northeast area of the two vacant lots located northeasterly of the site along Franklin Street. Easements for the off-site stormwater basin will be required to achieve compliance with regulations.

A parking lot addition will also be constructed on the vacant lots to the northeast of the site and will also have to comply with the stormwater management ordinance. The site plan shows an open basin on the northeast side of the site to which all runoff from the site will be directed.

Staff believe that the development will be able to achieve compliance. Construction plans with calculations have been received but not yet reviewed. The opportunity for off-site management of stormwater runoff is unusual and provides additional assurance that compliance can be achieved.



POLICE AND FIRE PROTECTION: The site continues to be served by Village Police and Cornbelt Fire Protection District.

CONFORMANCE TO COMPREHENSIVE PLAN: The Village of Mahomet Comprehensive Plan designates this area as commercial use with particular encouragement for those uses that serve the neighboring residents and some vehicular traffic. Recently the land across the street (Sangamon School) and the two (2) vacant lots to the north of the property were rezoned from R-3 to C-2 General Commercial. Consistent with the Comprehensive Plan, this land is redeveloping into commercial uses to capitalize on its midpoint between the Eastwood Center, Lombard Corridor and Downtown – the area designated by the Comprehensive Plan as “Core Commercial”. Development of this site as a “shopping center” appears consistent with the Comprehensive Plan.

SUITABILITY OF PROPOSED CONDITIONAL USE: This development is shown to have seven (7) commercial fit out spaces. A building of multiple uses is considered a “shopping center” if it is over 5000 SF. It is a conditional use in the present C-2 zoning district. This means that under certain conditions the use(s) proposed can be made compatible with the surrounding area and consistent with the uses permitted in C-2. No residential dwellings are proposed with this development. The site is in the Core Commercial functional area per the Comprehensive Plan. Commercial development in this area is strongly encouraged and the density of this development is not unlike the Downtown’s main “block”. The difference would be land ownership – the number of parcels.

REDEVELOPMENT CONSIDERATIONS:

AREA and SIZE: The land in the Core Commercial area is going to be of higher cost than similar sites in East Mahomet largely due to the small lot size and the need to assemble adjacent properties to enable modern commercial development. The developer reports that the financials for the acquisition and development require multiple tenants (to spread vacancy risk) and to maximize leasable square feet. Development of each lot independently would be challenging due to the need to comply with parking and stormwater regulations on very small sites. To provide a comparison, the McDonald’s site is nearly twice the size of this fully assembled parcel.

There are other “shopping center” buildings in Mahomet.

Site	Uses	Lot size (SF)	Building size *
1002 Commercial Drive	Mahomet Family Restaurant is anchor	50,026 SF	10,500 SF
703 Eastwood Drive	Subway, El Toro anchors	39,600 SF	7,300 SF

- Building Permit reported square footage

VACANCY and UNDER-UTILIZATION: One purpose for zoning is to secure the highest and best use of land. The land has contained two (2) rental homes and multiple accessory type buildings. Between 1988 and 2002, the house on 604 was razed and that lot has remained semi-vacant with one accessory building. Between 2008 and 2011 the house at 608 (off-site) was converted to a restaurant from a house. The assessed values of the lots that make up the property are as follows:

Address	Land (\$)	Building (\$)	Total (\$)
602	8,690	30,130	38,820
604	8,690	3,150	11,840
606	5,220	20,920	26,140
606 ½	6,050	6,970	13,020
606 ¼	5,130	3,140	8,270
TOTAL	33,780	62,484	98,090

The total market value of all five (5) lots is approximately \$320,000. By comparison, the assessed values of the 703 Eastwood Dr complex is a total of \$240,000 which translates to a potential market value of \$790,000 for this site or 2.3 times the value of the lots of this property as it was last assessed:

Site	Land	Building	Total
703 Eastwood Drive	32,080 + 25,660	182,310	32,080 + 207,970
	57,740	182,310	240,050

OTHER ZONING CONSIDERATIONS:

The community need for the proposed use;

Related facts or staff comments: Mahomet’s Comprehensive Plan, investment decisions in utility extensions and street improvements have been directed towards encouraging commercial development. The diversification of the tax base is highly desirable. Additionally, requests are frequently made for available smaller commercial fit out space generally in the sizes proposed by this development. There are few, if any, spaces available in the Village limits.

The care with which the community has undertaken to plan its land use development.

Related facts or staff comments: The recent adoption of a new Comprehensive Plan establishes functional areas which have specific goals and strategies. This property is in the Core Commercial functional area and redevelopment is highly encouraged with commercial uses that serve the neighboring population and serve vehicular customers.

The impact on adjacent properties:

Related facts or staff comments: The area has been converting to commercial uses over time, albeit slowly. This development would largely secure the development of the entire block into commercial uses. This block faces arterial Lombard and Main Street and has direct access to the traffic signal on Franklin. A shopping center can be considered a highest and best use of this property. The development of this total block as commercial, would be the highest and best use.

OVERVIEW - APPLICATION OF CONDITIONS: The purpose of the conditional use is to achieve consistency with the intent of the zoning designation, zoning regulations, and other permitted uses. The method customarily utilized is to apply certain conditions to the property and the use and/or to allow relief from the strict application of regulations, “variances”. (See attachment of the excerpt of the code related to conditional uses.)

A checklist is a part of the application for the conditional use and the items on that list are: application and fee, use proposed, site plan, elevation data, stormwater detention, village utilities, other utilities, measurements, entrances, landscaping, buffering, parking, trash area, site lighting, tenants and uses, signage, building materials, and others. Conditions do NOT have to be established for all of these aspects of the proposal nor are the conditions that can be imposed limited to these.

The Commission should consider these aspects of the development plan to determine what conditions should be applied to this particular development site.

SITE PLAN: The site plan is a component that establishes the size of building, setbacks, parking spaces, landscaped areas, buffering methods, site lighting, circulation flow, public improvements and dedications, amongst other factors that are deemed necessary to assure relative “compliance” with regulations is achieved. A detailed site plan and supporting documents have been submitted which contains required information.

PROPERTY BOUNDARIES: The site plan indicates five (5) lots that will contain the proposed building; two (2) lots to the north/northeast that will contain a parking lot; two alleys (one on the north and one on the east); and, a dedication of private property to increase the right-of-way of Jefferson Street. The 12,660 SF building will be contained on a site that is currently 32,600 SF. The property will “lose” approximately six (6) feet along the western side of the property which is an area of ~ 950 SF. The six (6) feet is proposed to be dedicated to the Village to allow the widening of the Jefferson Street pavement and installation of a five (5) foot sidewalk. The alleys are currently public right-of-ways. The site plan proposes those as circulation around the building versus access to the site. The alley on the north side of the site is not currently paved – it is grass covered. The existing alley cannot serve the MAYC property due to the elevation difference between the alley and the MAYC property. The alley on the east side of the property is 12 feet wide and currently rock. The development proposal indicates the surface may be widened by a couple of feet.



Staff Comment: Staff will be recommending that the Board of Trustees vacate both alleys. The land area will transfer in some manner to adjacent land(s). At a minimum, if the full width of both alleys are not transferred to the development site, easements will be necessary to enable improvements to and the use of the vacated alleys by this development in a manner consistent with the site plan. The basis for the recommendation is primarily that there is no longer a requirement to retain public alleys for the benefit of multiple lots. Functionally, the MAYC site cannot access the alley due to elevation differences. Redevelopment is challenging and vacation would

enable flexibility for redevelopment. It also would relieve the developers from the standards of improvements for alleys that would be required by developing this property. The Village Subdivision ordinance would require that the total width of the alley ROW be increased to 24 feet and the pavement constructed be not less than 20 feet in width. Given little public benefit of retaining the alleys, and the alley vacations creating more flexibility for site development, staff will recommend the vacations of the two (2) alley sections shown on the site plan. Staff anticipates recommending a discussion be at a study session in October.

PARKING: The site development plan indicates a building of 12,660 SF is proposed. This size building would require 43 spaces which is 1 space for every 300 GSF. The site plan indicates the project meets this requirement with the addition of off-site / overflow parking to be located on two (2) currently vacant lots north of the property. The site plan shows 23 spaces in the front of the building and four (4) parallel on the back of the building. Additionally, the off-site lot shows 16 spaces for a total of 43 spaces. Commercial properties can include offsite parking within 300 feet of the site as a means of meeting the parking requirements provided there is an instrument recorded that secures the use/facility.

SETBACKS: The C-2 zoning district requires a front yard setback of 15', rear yard setback of 25' and zero (0) side yard setback unless adjacent to a residential zoning district. This property has two "front yards" because it is on a corner lot. Parking is permitted in the front yard in a commercial zoning district. The site plan does not meet the building setback requirements established by the zoning ordinance. By requiring adherence to the site plan the conditional use can effectively make the proposed setbacks compliant or the setbacks can be specifically mentioned in the adopted resolution approving the conditional use permit. In that manner reduced set backs are established without the need for variances.

Related Facts:

- The Township property across Jefferson Street has nearly zero front yard setbacks.
- The site plan indicates a dedication of over six (6) feet of right-of-way for widening of Jefferson Street.
- The site plan indicates alleys on the north and east side. If those alleys are vacated, it is unknown to which adjacent the land area will transfer. Final parcel size cannot yet be determined.

ACCESS AND CIRCULATION:

The site plan indicates that the front parking lot is proposed to be one-way only flowing westerly, which is fundamental functioning of an angled lot. Per discussions with staff, the exit would be structured to force right only turns onto Jefferson Street. The proximity to the Main / Jefferson intersection was the concern that led to this restriction.

The site plan indicates that the alley on the east side of the property is one way northbound. The width of the pavement is unclear. It would serve only as an entrance to the site (and to Taffie's). This alley would be the only way to enter and obtain access to the proposed pick-up window. The pick-up window is a "pull off" separated by a median of some sort from the alley.

The site plan includes off-site parking. A lot with head in parking is proposed, it would have one entrance and exit which is generally off the intersection of the existing two alleys. Exiting the lot would be limited to right turn only and all traffic would go to Jefferson.

The alley along the northern/back side of the building is shown as 16 feet wide (our traditional width downtown) with two-way (assumed, not labeled) traffic. There are parallel spaces, a loading zone and a dumpster positioned along the rear side of the building for nearly its entire length. Though along a two-way alley, the one-way alley along the eastern side relegates this area as accessible only by westbound traffic and cannot accommodate traffic entering off Jefferson without those vehicles turning around in the overflow lot or by a three point turnaround at the intersection of the two alleys.

A condition designating directional for traffic, into, within and from can be a part of the conditional use permit. It would be important to consider the traffic flow and how one-way movement would be secured (signage, pavement marking, other) for a condition of the conditional use permit. Pavement widths should enable the desired functioning. The ability to enforce one way travel designations is an important consideration at this location.

See attachments for examples and options related to vehicles entering and those exiting from various areas to various destinations. The exhibits show the effect of the proposed one-way and indicate the effect if the alley on the east side of the property was two-way.

STAFF ANALYSIS AND RECOMMENDATION – access and circulation

There are significant complications with the proposal for one-way traffic along the existing alleys, particularly the eastern alley.

1. **Functioning:** In practical terms, staff cannot envision a methodology of signage or pavement marking that would assure only one way of travel on that eastern alley from all of the parking areas in the vicinity.
2. **Taffie's handicapped parking.** The spaces are head in parking off the alley and are likely to exit either way in this configuration. To commit it to one-way northbound would be difficult to control. Vehicles would have to exit through the front parking lot of this site if they pull out the wrong way. Angled parking would help but there may not be room on the property for the reconfiguration and off-site changes are not within the scope of the conditional use.
3. **Pick-up potential for Taffie's:** Taffie's is equipped with a pick-up window function (via a doorway currently) that would no longer be possible in the traditional sense of driver side at the window and the driver not exiting the vehicle. The owner of Taffie's would need to support this restriction to one-way.
4. **Delivery vehicles and garbage vehicles access.** Trucks will have to enter off Main St. or off Lombard (through Taffie's lot) to get to the back side of the proposed shopping center

building. If they enter off Jefferson and are therefore facing easterly they have no exit from the property without turning around. It does not appear that large vehicles will be able to turn around given the grading and the pavement radius' and widths. The garbage dumpster as positioned does not indicate if service is achievable from a truck heading westbound.

5. **Rear building parallel parking space:** The four (4) parallel parking spaces along the rear of the building can also be used for loading and delivery functions which is good. With the alley one-way, they would have to be accessed ONLY from the east side of the property (heading westbound) so they are oriented properly to exit the site. IF they are heading east, they cannot exit the site without turning around by a three point turnaround at the intersection of the two "alleys" or by entering the overflow parking lot.
6. **Preferred path:** People generally head towards their destination and seek the shortest pathway to such or the path of least resistance. For those in the overflow lot, for example, to get to Main Street, they have only one exit from the site – the alley on the north of the site to Jefferson.

So off-site parking lot vehicles will exit the site onto Jefferson and proceed left to get to Main Street. This is a challenging intersection. If the destination is Lombard, the vehicle has to turn right onto Jefferson and right again onto Franklin to get to Lombard. Fortunately the Lombard / Franklin intersection includes a traffic signal. If the alley were two-way, a vehicle could exit the site via the Wingery lot to Lombard or travel directly south on the alley to Main Street. Three (3) possible exits are added for the off-site lot if the alley is two way.

7. **Wingery and Taffie's lot exiting change.** Traffic from these sites would no longer have the ability to exit onto Main St.. The vehicles would have to exit directly onto Lombard or get to Main St. by traveling west along the alley to Jefferson St. This is a very out of the way method of exit and likely most people won't prefer this option. Nor do staff see a method of pavement marking and areas for signage that could assure vehicles do not turn left when reaching the north / south alley and traveling south as they have been able to do for years.

There are also issues if the alley on the east side of the property is two-way.

1. **Width of travel lane.** The width of the pavement is a concern. The north / south alley ROW is 12 feet wide. The site plan appears to pave a foot or two of the site to widen it. However, staff cannot determine where the pavement is in relation to the parcel. The final width proposed is 14.63 feet at its narrowest. New regulations would require an alley to be of pavement 20 feet wide but 16 feet is possible for the travel lane. It is two feet narrower than the width of two (2) parking spaces adjacent to each other but it is also the width of most alleys in the downtown area. The proposed is not a width that will allow vehicles to be able to pass.
2. **Width of the entrance/exit area at Main.** The width of the driveway at the sidewalk and curb is a concern but they are proposing it to be wider than the 14.63 foot travel lane. The

widening concept is one we agree with. However, even the proposed 16 feet wide, it is highly likely that a vehicle on Main will wait until an exiting vehicle has done so. An exiting vehicle would have to be positioned as far to the right of the drive as possible to enable the entrance of another vehicle but even that is perceptively too tight and drivers will wait in the roadway. A short length of the driveway could be widened to 20 feet to enable exiting vehicles to be farther to the right – widening the stopping area.

STAFF RECOMMENDATION ON CIRCULATION DRIVEWAYS: Given the practicality that the alley on the east will have traffic moving both northerly and southerly and the restriction has significant off-site impacts, accommodations should be made to formalize it rather than attempt to restrict it to one-way. The width should be at least 16 feet at its narrowest part acknowledging that there are places where the paved area is wider and vehicles could “pull over” when passing another vehicle. However, at any location with stopped cars or turns, the width should be around 20 feet. Not all of the width need be provided by this site if some width can be provided by the adjacent owner. A shared driveway agreement of some sort will be necessary for this traffic lane especially if the alley is vacated. The entrance onto Main Street should be widened to at least 20 feet.

The conditional use permit can and should address the aspects of lane width, traffic flow direction and driveway width.

PUBLIC ROADWAY CONDITIONS: The width and condition of Main Street can handle the traffic this development may produce as it is constructed to modern standards. Jefferson Street is of oil and chip surface that is much narrower than would even be required of an alley today and it is in mediocre condition. To mitigate these issues, the developer will be widening the pavement of Jefferson St adjacent to his parcel and dedicating approximately six (6) feet of right-of-way in order to accommodate that widening and the installation of new five (5) foot sidewalk along the Jefferson Street frontage. The approval and waivers for this method of upgrading will be managed by the subdivision process. However, the ability of the public infrastructure to handle the traffic generated from this site is within the domain of the conditional use and the Commission should discuss.

Staff note: If the alley on the east side of the Property is one way, ALL traffic exiting from the property will use Jefferson St. If the alley is two way, options for exit are increased (see exhibits).

The subdivision ordinance requires only half-street roadway improvements adjacent to land subdividing. Any full width improvements would be half funded by the Village. The Jefferson Street right-of-way in this area is only 33 feet wide and the Township building has a zero setback from the ROW. Under no circumstances can Jefferson Street be improved to meet current standards. The pavement grades on Jefferson Street also present challenges. The developer discussed Jefferson Street conditions and options with staff many times to determine reasonable solutions. The submitted plans are of the form that staff will recommend to the BOT.

Concerning the public alley right-of-ways, the developer proposes concrete and the Village does not have concrete alleys in the downtown area. The maintenance planning for funding and scheduling by the Village is simplified with only one type of surface. However, paved alleys would be prudent given the level of traffic anticipated at this location. This fact is a component of the presentation of the recommendation for vacation of the alleys by the Village.

The PZC does not make a recommendation to the Board of Trustees on alley vacations. However, since the developer is proposing to use the land that is currently public alley for circulation versus access, the PZC should consider adding conditions to the permit to assure the development functions well independent of the action the BOT takes. It may be necessary to propose conditions under any scenario.

VILLAGE STAFF RECOMMENDATION: Staff recommend the PZC forward the case to the Board of Trustees with conditions related to the following:

1. GENERAL

- a. Submittal of a complete site plan and approval prior to building permit application
- b. Zoning Lot is created for 602, 04, 606, 606 ½, and 606 ¼ E Main prior to building permit application
- c. A subdivision is completed to assembly the lots into one lot and absorb any vacated alleyway.
- d. Ownership of land or easements are obtained to assure full functioning of the site plan as attached subject to minor technical modifications prior to occupancy.
- e. A performance bond and surety be provided for public improvements and the private stormwater detention basin as a part of the building permit application.

2. FEATURES:

- a. Window: The pickup window shown on the east side of the building is limited to pick up service only and no orders can be taken from the window. No drive-through or drive-up function is permitted
- b. A separation be constructed in some manner or width between the pick-up window lane and the alley.
- c. The dumpster will be positioned in the general location shown for commercial pickup service and be enclosed or as approved by the Village.

3. SIGNAGE:

- a. Be consistent with the attached site plan and subject to Village permit and approval
- b. No freestanding signs are permitted excluding directionals as deemed necessary by the Village for proper site circulation.
- c. No signage shall have animation ability. All are static.

4. ON SITE PARKING:

- a. Unreserved parking spaces in the lot are for customer only use during the day and marked as such.

- b. Parallel spaces in the rear of the building will be open to customers and marked as necessary.
- c. No more than three (3) spaces are “reserved” or otherwise limited to normal patron parking availability.
- d. No leasing to entities not operating on the property is permitted.

5. OFF SITE PARKING:

- a. Documents are recorded securing easements for the parking lot facility on the properties as shown on the site plan at 605 and 607 E Franklin prior to occupancy.
- b. Should parking be shared by entities operating within the block bounded by Main, Lombard, Jefferson and Franklin Streets in some formal way, the parking requirements for the off-site lot can be removed with Village approval.
- c. The overflow parking be constructed and maintained of a dustfree surface and spaces marked clearly.
- d. All parking spaces must be available to patrons of this development.

6. STORMWATER DETENTION:

- a. The basin complies with ordinances. The design for such as attached is constructed subject to minor modifications to achieve compliance.
- b. An easement is recorded to secure a stormwater detention function offsite within 250 feet of the property.
- c. Grading and detention are completed prior to an occupancy permit.
- d. The stormwater detention basin can be modified to accept runoff from area sites provided it continues to comply with ordinances.

7. EASEMENTS:

- a. Legal documents are recorded to assure that the parking lot remains as proposed on the site plan unless other parking is provided on-site or within the ordinance requirement of 250 feet of the property boundary and if the property currently indicated as “alley” is vacated, proper easements will be recorded to allow proposed surfacing and use.
- b. The utility easement is maintained within the alleys and any requests by utilities necessary to provide service beyond the property will be accommodated, and funded if necessary, by the owner.

8. ROADWAY AND CIRCULATION DRIVEWAY IMPROVEMENTS:

- a. Jefferson St. ROW and pavement is constructed as shown on the plan sheet (attached) prior to occupancy.
- b. “Alley”/ circulation drives will accommodate two-way traffic
- c. The southern driveway exit onto Jefferson is constructed with a negative radius at the southern curb to prevent left turns - a modification of the attached site plan.

- d. Both “alleys” are constructed as presented and will accommodate two-way traffic. The travel lane of the northern “alley” will be a minimum of 16 feet wide. The travel lane of the eastern “alley” will be a minimum of 16 feet wide of continuous pavement. Some width may be located off-site if proper easement documents are recorded.
- e. The southern 18 feet of the travel lane between this development and 608 E Main St. as a distance from the sidewalk edge will be a minimum of 20 feet wide with a corresponding compliant approach.

9. LIGHTING:

- a. A site lighting plan conforming to code is submitted to the Village for approval prior to installation.
- b. Street lighting is reinstalled as requested by the Village

10. PAVEMENT MARKING AND CIRCULATION SIGNAGE–

- a. Pavement marking and signage related to circulation will be installed and maintained as required by the Village.

11. COMPLIANCE WITH OTHER ORDINANCES:

- a. Compliance with the Building Permit requirements of the Village
- b. Approval of the site and building plan by Cornbelt Fire Protection District making all requested changes.
- c. Tree ordinance compliance
- d. No outside storage or display of inventory
- e. No vehicles with “signage” parked in the front of the building beyond standard patron lengths of time
- f. Building setback along Jefferson can be reduced to ____ if determined necessary by the Village.

12. USES: That the shopping center is limited to the following uses in any combination therein:

Permissive Uses

1. *Dressmaking, tailoring, shoe repairing, donut/bakery shop and other uses of similar character*
2. *Office or office building*
3. *Personal service uses including barber shop, beauty parlor, photographic or art studio, messenger, newspaper, laundry or dry cleaning pickup*
4. *General merchandise retail store, in connection with there will be no slaughtering of animals or poultry, nor commercial fish cleaning and processing on the premises*
5. *Restaurants, cafeterias, bars and taverns, not including drive-through or quick service establishments*
6. *Restaurant with pick-up only window*
7. *Convenience store*

8. *Video rental store*
9. *Property rental and real estate agency*
10. *Computer and personal electronics sales or repair*
11. *Private indoor recreational or fitness facility*
12. *Specialty retail store such as apparel, jewelry, book, shoe, stationary, antique and other similar stores.*
13. *Medical, chiropractic or dental clinic*
14. *Pet grooming*
15. *Any combination of any permissive uses*

Conditional Uses

1. *Residence*
2. *Day Care Center*
3. *Dance or Music Academy*
4. *Gymnastics academy*
5. *Bank or Financial Institution*

PROCEDURAL ISSUES / SUMMARY: The Plan and Zoning Commission (PZC) will hold the public hearing concerning the request on October 4, 2016. The PZC acts in an advisory role to the Board of Trustees regarding conditional uses. A draft resolution is attached for consideration by the Commission which contains conditions as presented here as staff recommendation. It is expected that the PZC will modify.

ATTACHMENTS:

- 1) Overall Site Plan with Aerial
- 2) Building Elevation renderings
- 3) Site Plan – with construction plan sheets by BKB Engineering
- 4) Alley Vacation Plat
- 5) Circulation Sketches
- 6) Conditional Use Regulations excerpt
- 7) Petitioner’s Application (Form only)
- 8) Draft Resolution



PAVEMENT LEGEND

- P.C. CONCRETE PAVEMENT, 6" THICK
- P.C. CONCRETE SIDEWALK, 6" THICK
- BITUMINOUS SURFACE TREATMENT, CLASS A-2 AGGREGATE SURFACE COURSE, TYPE A, 8" THICK
- ADA TRUNCATED DOME PANELS

GENERAL NOTES:

1. LEGAL DESCRIPTION:

TRACT 1

LOT 24, IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS, EXCEPT THE FOLLOWING: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 24; THENCE NORTH 0 DEGREES 26 MINUTES 47 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 24 FOR A DISTANCE 15.79 FEET; THENCE SOUTH 21 DEGREES 25 MINUTES 47 SECONDS EAST FOR A DISTANCE OF 16.96 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 24; THENCE SOUTH 89 DEGREES 58 MINUTES 13 SECONDS WEST ALONG SAID WEST LINE OF LOT 24 FOR A DISTANCE 6.07 FEET TO THE POINT OF BEGINNING;

TRACT 2

LOT 22, EXCEPT THE EAST 4 FEET OF EVEN WIDTH OF THE NORTH 44 FEET OF SAID LOT, IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS.

TRACT 3

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TRACT 6

LOTS 8 AND 9 AND VACATED ALLEY LYING BETWEEN LOTS 8 AND 9 IN C.C. HAWES ADDITION TO THE TOWN OF MIDDLETOWN, NOW MAHOMET AS PER PLAT RECORDED IN DEED RECORD "P" AT PAGE 404, IN CHAMPAIGN COUNTY, ILLINOIS.

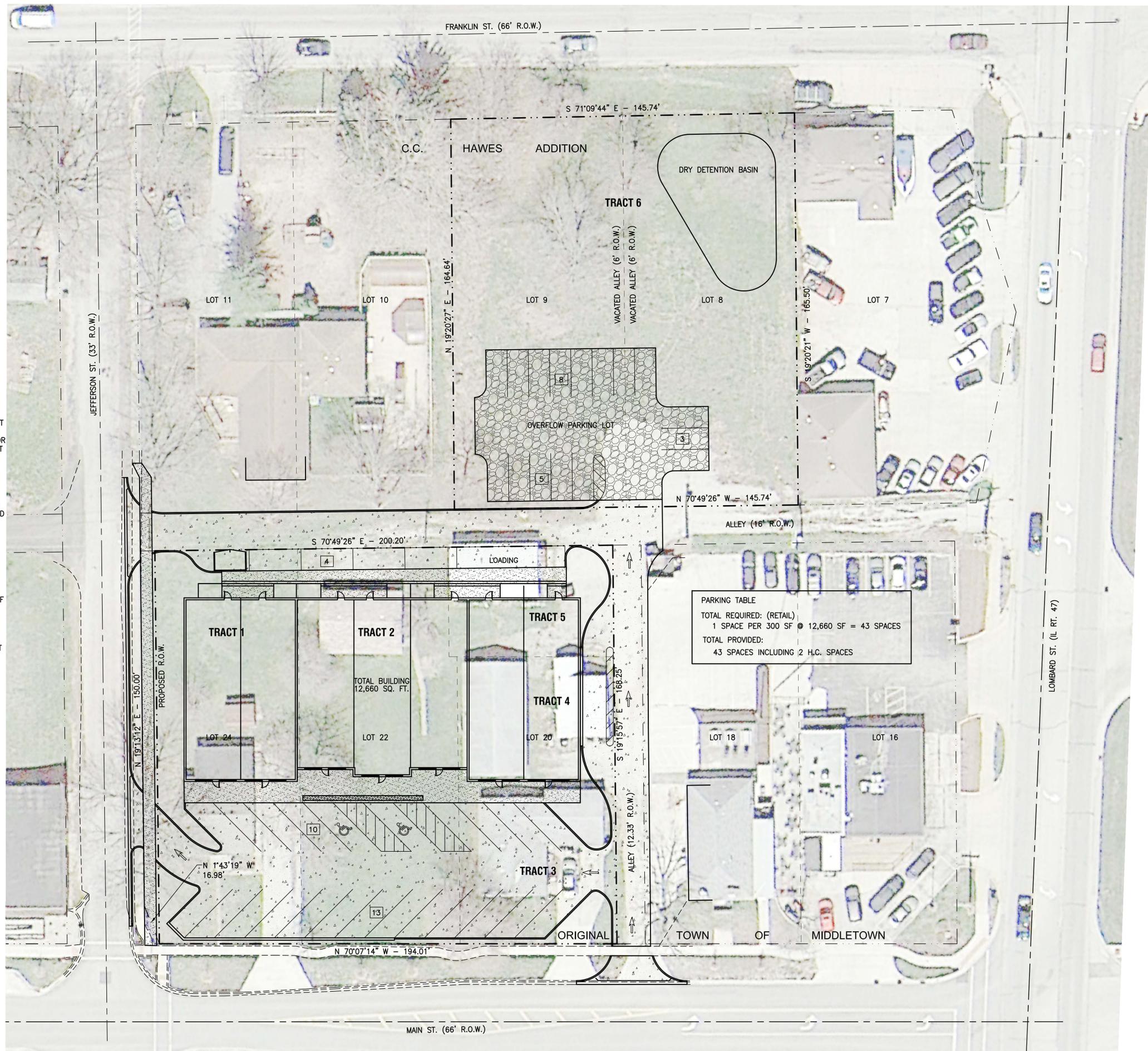
2. BENCHMARK: CHISELED SQUARE ON THE SOUTHWESTERN CORNER OF THE CONCRETE FLAG POLE BASE, 18.6 FEET SOUTH OF THE SOUTHWESTERN CORNER OF THE CORNBELT FIRE PROTECTION DISTRICT STATION AND 25.0 FEET NORTH OF THE CENTERLINE OF MAIN STREET. ELEV. = 720.33.
3. ALL BEARINGS ARE OF THE EASTERLY LINE OF LOT 102 OF CORNBELT REPLAT.
4. CURRENT ZONING FOR ALL TRACTS IS C-2 - GENERAL COMMERCIAL DISTRICT.
5. NO INDEPENDENT REVIEW OF EASEMENTS WAS PERFORMED.



BK
BRYAN K. BRADSHAW
ILLINOIS PROFESSIONAL
ENGINEER NO. 52891

LICENSE EXPIRES
11/30/17

DATE: SEPTEMBER 19, 2016



REVISIONS	NO.	DATE	DESCRIPTION

BKB
ENGINEERING
301 N. NEIL STREET, SUITE 400 | CHAMPAIGN, IL 61820
CELL 217.840.3546 | OFFICE 217.531.2971 | FAX 217.531.2211

OVERALL SITE PLAN
NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

PROJECT: 13-1601

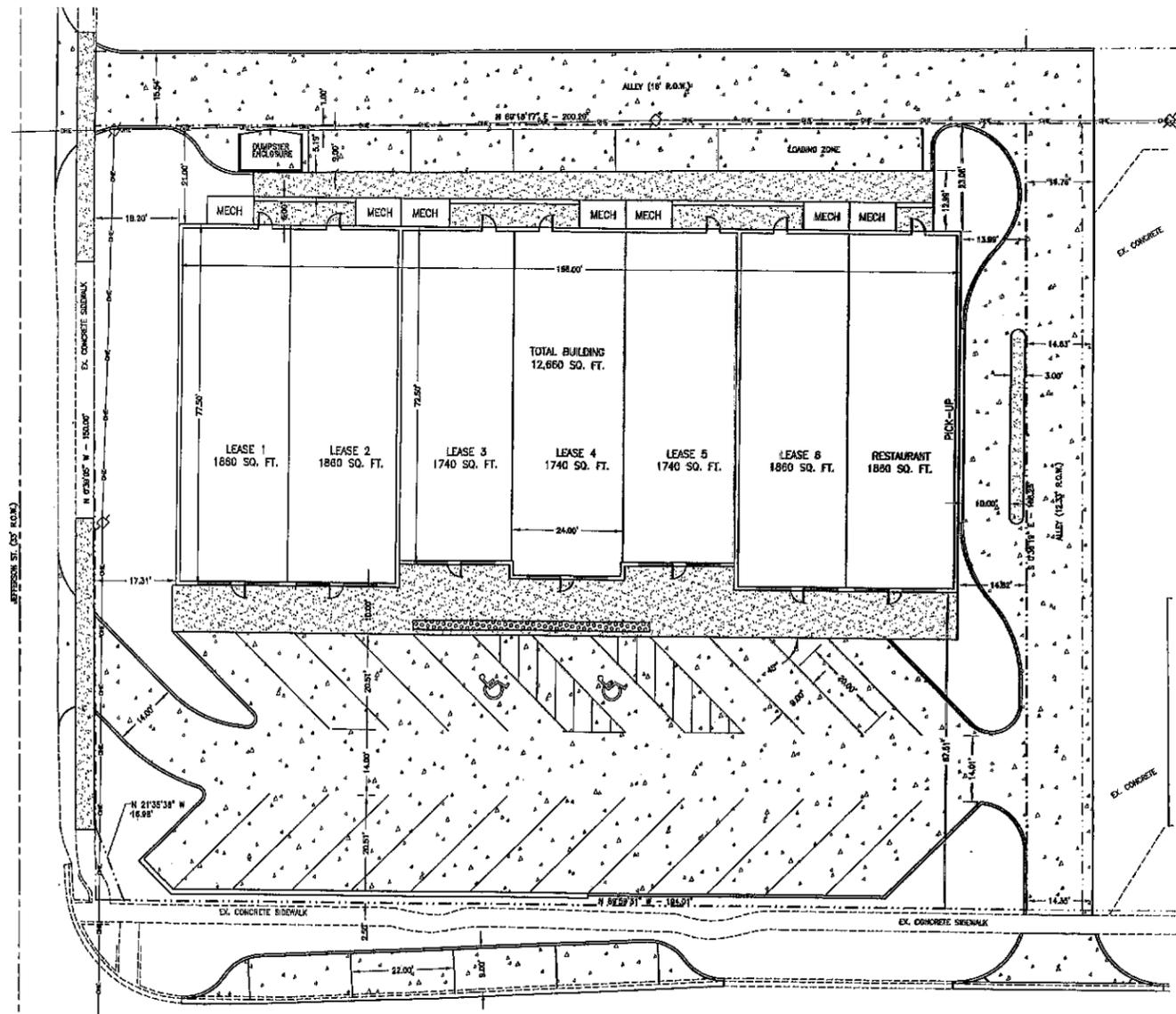
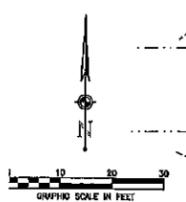
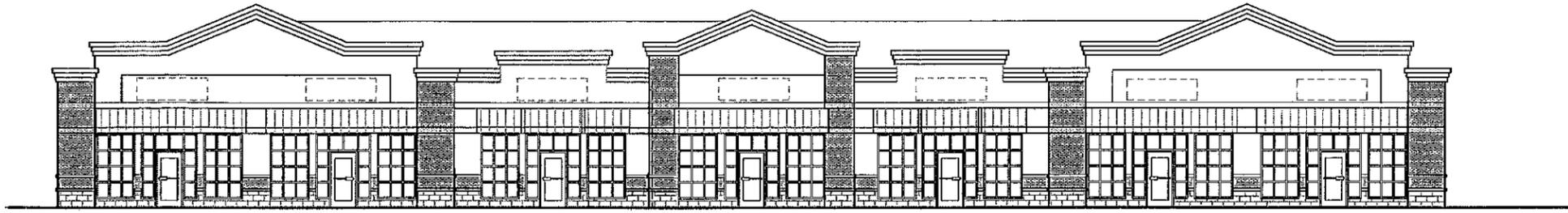
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DRAWN BY: BKB

DATE: 8/20/16

SHEET:

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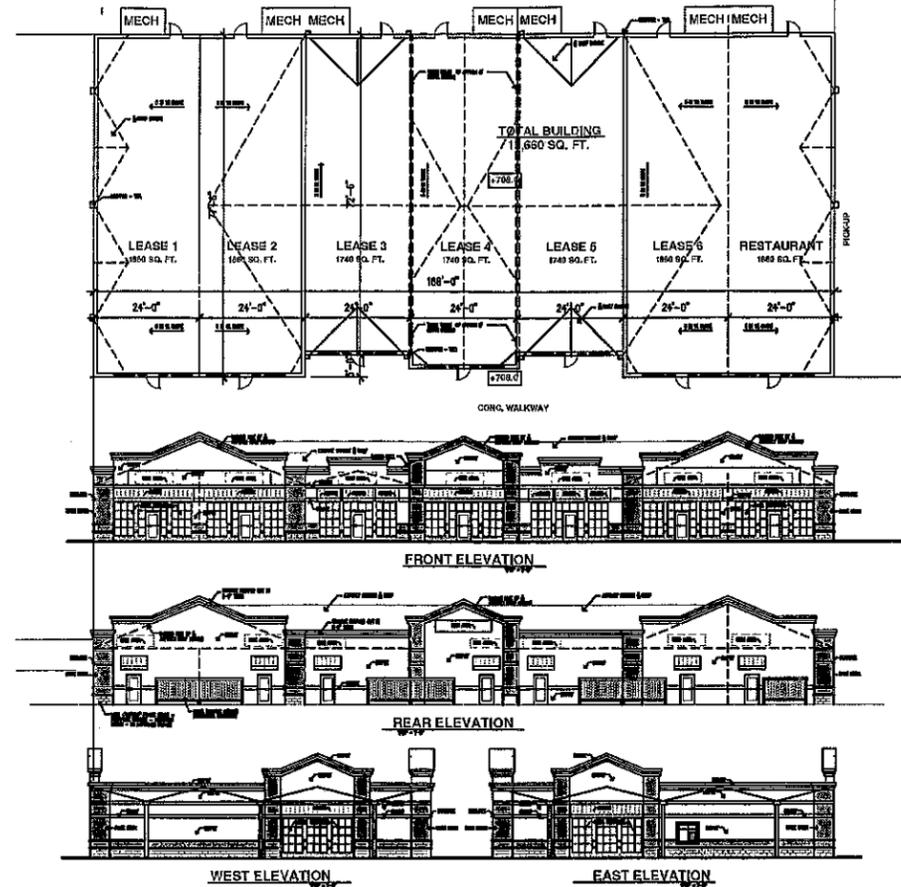
revised on:	

date: 7/1/16
drawing number:

file: FRONT ELEVATION
 gaylord h. swisher, architect
 900 Pleasant Lane Savoy, IL 61874

RETAIL DEVELOPMENT

sheet number:
M



revised on:	

date: 7/1/16
drawing number:

Site: SITE PLANS
 gaylor h. swisher, architect
 909 Pleasant Lane
 Savoy, IL 61874

RETAIL DEVELOPMENT

sheet number:

P-4

INDEX OF CIVIL SHEETS

- C1 OVERALL SITE PLAN
- C2 SITE LAYOUT PLAN - SOUTH
- C3 SITE LAYOUT PLAN - NORTH
- C4 GRADING PLAN - SOUTH
- C5 GRADING PLAN - NORTH
- C6 UTILITY PLAN
- C7 NOTES AND SECTIONS
- C8-C9 DETAILS



PAVEMENT LEGEND

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- P.C. CONCRETE SIDEWALK, 6" THICK
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4. CURRENT ZONING FOR ALL TRACTS IS C-2 - GENERAL COMMERCIAL DISTRICT.

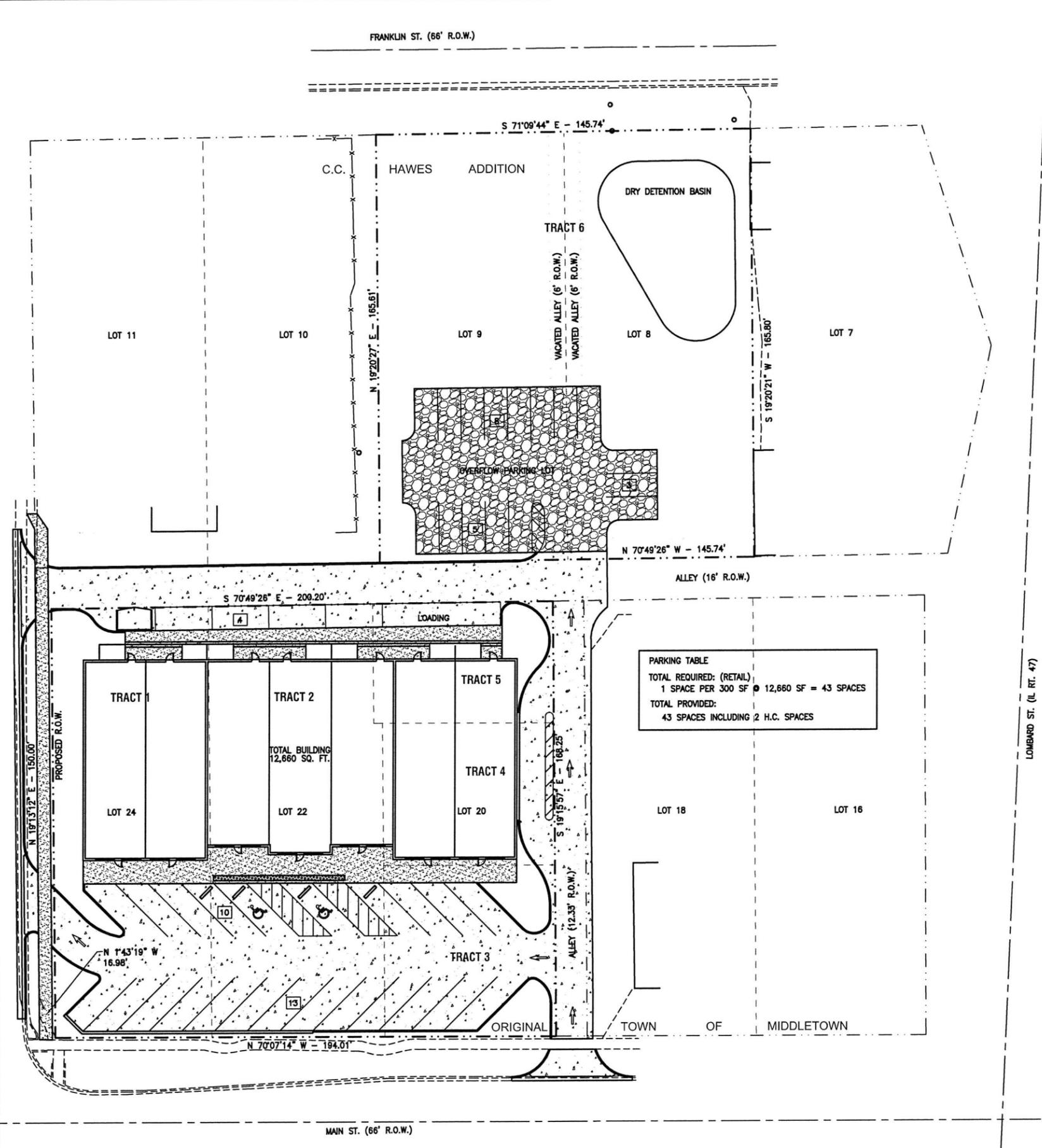
5. NO INDEPENDENT REVIEW OF EASEMENTS WAS PERFORMED.



BK
 BRYAN K. BRADSHAW
 ILLINOIS PROFESSIONAL
 ENGINEER NO. 52891

DATE: SEPTEMBER 26, 2016

JEFFERSON ST. (33' R.O.W.)



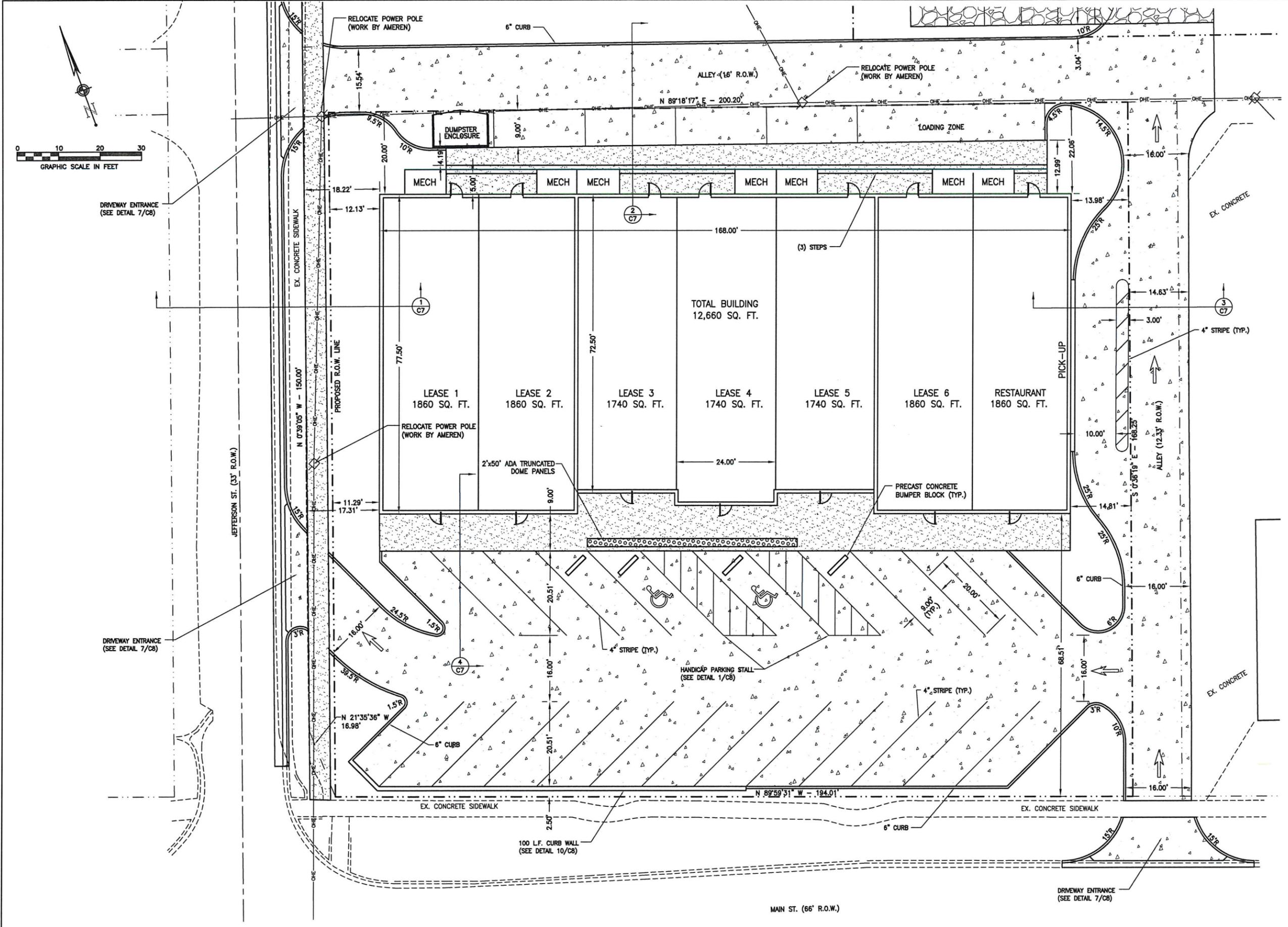
LOMBARD ST. (L. RT. 47)

REVISIONS	
NO.	DESCRIPTION

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 301 N. NEL STREET, SUITE 400 | CHAMPAIGN, IL 61820
 CELL: 217.840.3546 | OFFICE: 217.531.2971 | FAX: 217.531.2211

OVERALL SITE PLAN
 NEW RETAIL BUILDING
 602 E. MAIN ST.
 MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET: C1

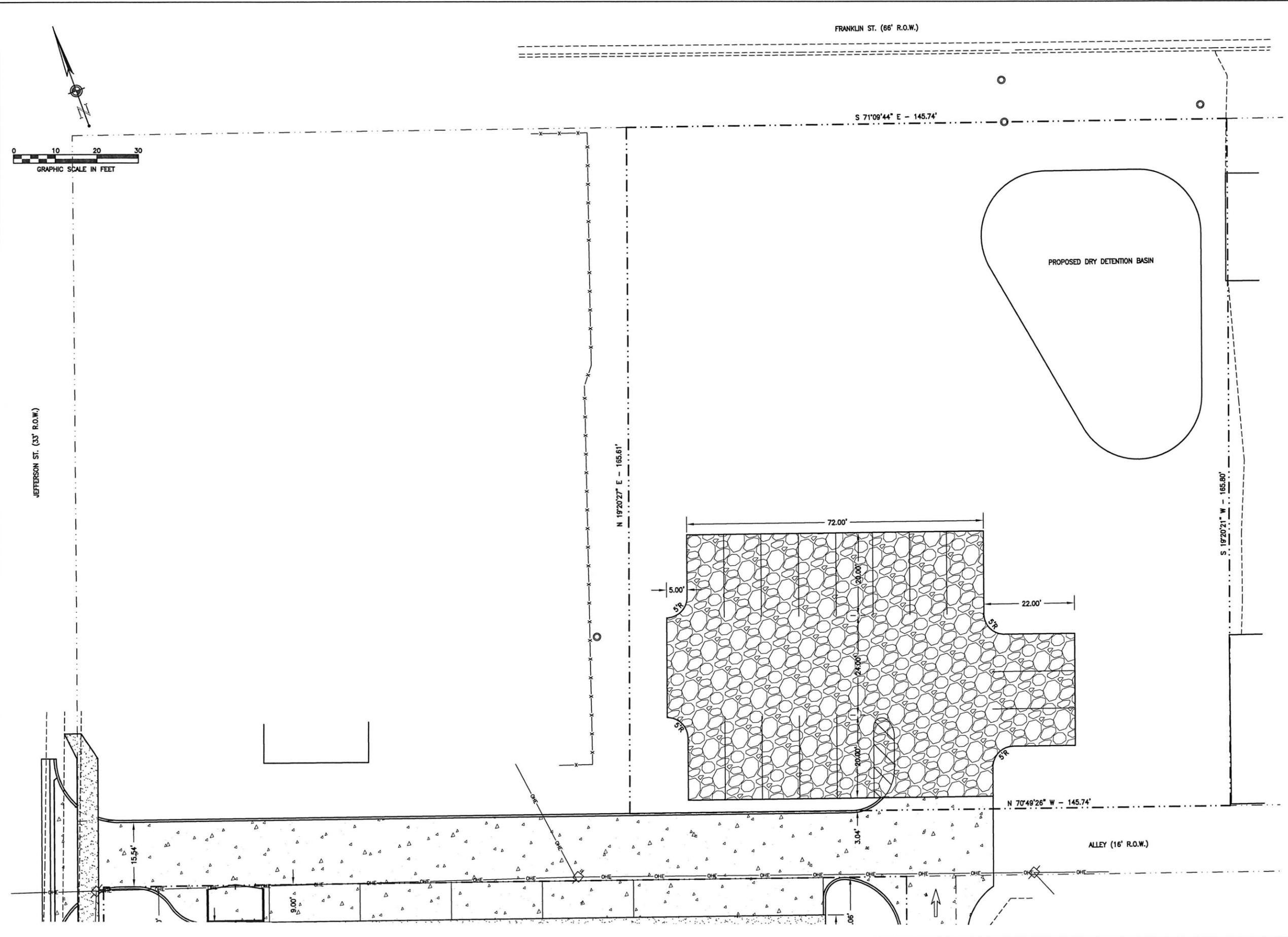


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B K B
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 301 N. NEIL STREET, SUITE 400 | CHAMPAIGN, IL 61820
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SITE LAYOUT PLAN - SOUTH
 NEW RETAIL BUILDING
 602 E. MAIN ST.
 MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET: C2



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NO.	DESCRIPTION

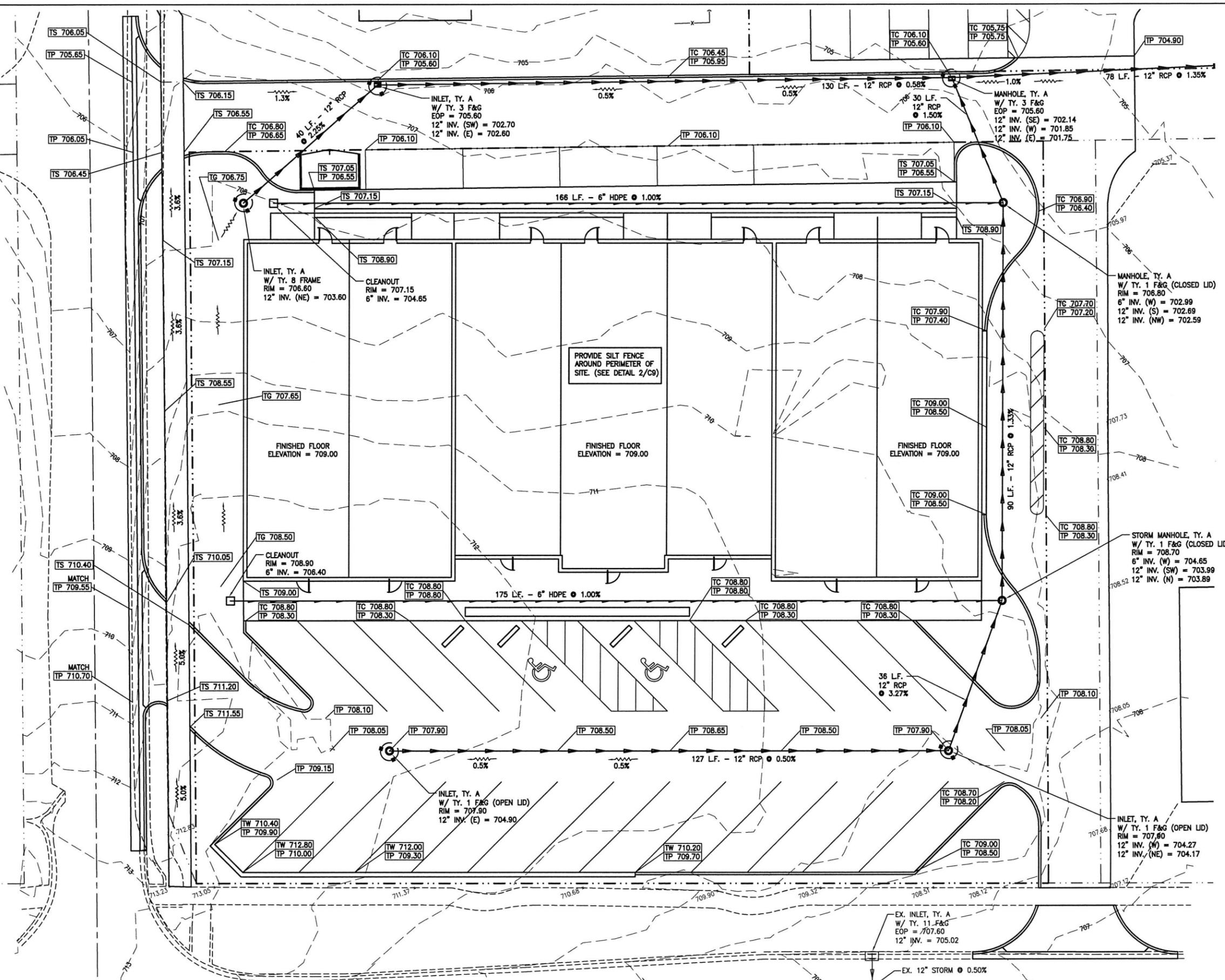
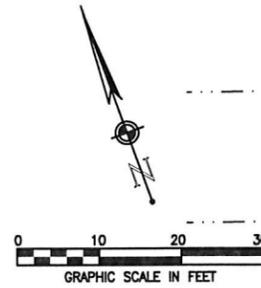
B K B
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301 N. NEL STREET, SUITE 400 | CHAMPAIGN, IL 61820
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SITE LAYOUT PLAN - NORTH

NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET: C3



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NO.	DESCRIPTION

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CELL: 217.840.3546 | OFFICE: 217.531.2971 | FAX: 217.531.2211

GRADING PLAN - SOUTH

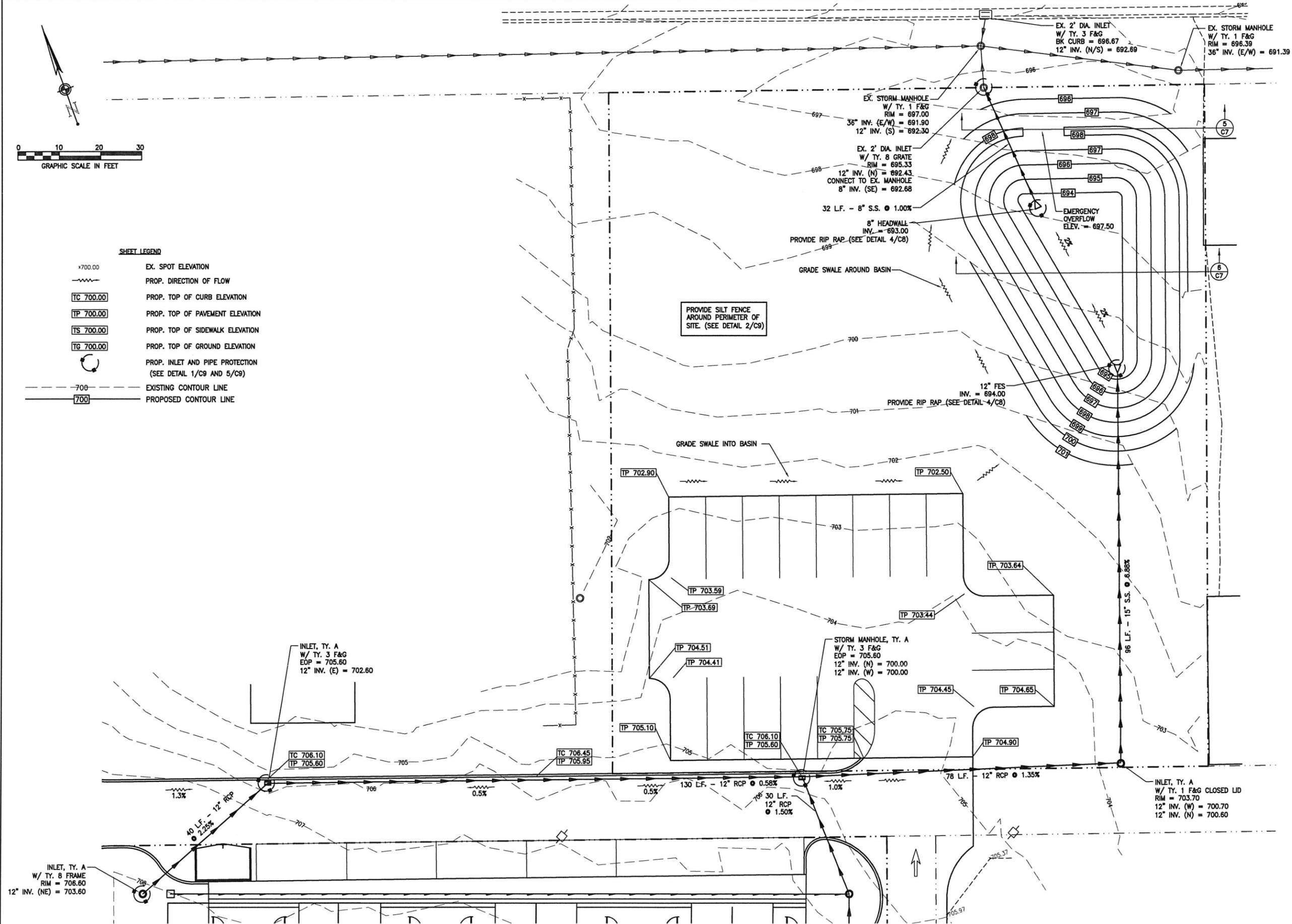
NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET:
C4



SHEET LEGEND

- 700.00 EX. SPOT ELEVATION
- ~ PROP. DIRECTION OF FLOW
- TC 700.00 PROP. TOP OF CURB ELEVATION
- TP 700.00 PROP. TOP OF PAVEMENT ELEVATION
- TS 700.00 PROP. TOP OF SIDEWALK ELEVATION
- TG 700.00 PROP. TOP OF GROUND ELEVATION
- ⊙ PROP. INLET AND PIPE PROTECTION (SEE DETAIL 1/C9 AND 5/C9)
- 700- EXISTING CONTOUR LINE
- 700- PROPOSED CONTOUR LINE



REVISIONS	
NO.	DESCRIPTION

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ENGINEERING

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GRADING PLAN - NORTH
NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET: C5

GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS: STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS (IDOT STANDARD SPECIFICATIONS), VILLAGE OF MAHOMET ILLINOIS ORDINANCES AND STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR SAFETY ON THE JOB SITE, NOR SHALL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. NEITHER THE PROFESSIONAL ACTIVITIES OF THE ENGINEER NOR THE PRESENCE OF THE ENGINEER AT A CONSTRUCTION SITE SHALL RELIEVE THE CONTRACTOR OF THEIR OBLIGATIONS, DUTIES, AND RESPONSIBILITIES INCLUDING ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES.
- CONTACT JULIE FOR UTILITY LOCATIONS BEFORE PERFORMING ANY EXCAVATIONS WITHIN RIGHT-OF-WAY OR EASEMENTS (1-800-892-0123).
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS SHOWN ON THE PLANS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONS OR LOCATIONS THAT DEVIATE FROM THE PLANS.
- WHENEVER CONSTRUCTION OPERATIONS ENCRUSH ON THE VILLAGE RIGHT-OF-WAY, TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND STATE STANDARDS TO THE SATISFACTION OF THE VILLAGE OF MAHOMET.
- NO MATERIALS OR EQUIPMENT SHALL BE STORED OR STOCKPILED WITHIN PUBLIC RIGHT-OF-WAY OR ON ADJACENT LOTS.
- ALL FIELD TILES, DRAINS AND UTILITIES CUT DURING CONSTRUCTION SHALL BE REPLACED OR REROUTED IN THE DIRECTION OF THE ENGINEER OR THE VILLAGE OF MAHOMET. ALL DRAINAGE FACILITIES WHICH ARE BROKEN OR DAMAGED DURING CONSTRUCTION SHALL BE RESTORED AS NEARLY AS POSSIBLE TO THEIR ORIGINAL STATE BY THE CONTRACTOR, EXCEPT THAT ALL FIELD TILES SHALL BE CONNECTED TO THE STORM SEWER SYSTEM WHERE NECESSARY FOR PROTECTION OF IMPROVEMENTS OR PREVENTION OF UPSTREAM FLOOD DAMAGE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE ENGINEER OF ALL SEVERED LINES AND TO REPLACE OR REROUTE PROMPTLY AT NO ADDED COST TO THE OWNER.
- ANY EXISTING IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION.

PAVING CONSTRUCTION NOTES:

- PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS, THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" IN ILLINOIS, LATEST EDITION AND VILLAGE OF MAHOMET ORDINANCES.
- PARKING LOT PAVEMENT SHALL BE PORTLAND CEMENT CONCRETE PAVEMENT, CLASS PV, 6" THICK.
- PAVEMENT SHALL BE SAWED WITH CONTRACTION JOINTS AT A MAXIMUM OF 12 FOOT INTERVALS.
- LONGITUDINAL CONTRACTION JOINTS SHALL BE TIED WITH #4 EPOXY COATED DEFORMED TIE BARS, 30-INCH LONG AT 30-INCH INTERVALS. ALL JOINT PATTERNS ARE TO BE APPROVED BY THE OWNER.
- SAWING OF JOINTS SHALL COMMENCE AS SOON AS THE CONCRETE HAS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE REVELLING, BUT NO LATER THAN TEN (10) HOURS AFTER THE CONCRETE HAS BEEN PLACED. ALL JOINTS SHALL BE SAWED TO THE FULL DEPTH AS SHOWN IN THE DETAILS, BEFORE UNCONTROLLED SHRINKAGE CRACKING TAKES PLACE.
- JOINT SEALER SHALL BE PROVIDED AT ALL PAVEMENT JOINTS. JOINT SEALER SHALL BE POLYURETHANE SELF-LEVELING SEALER. COLOR TO MATCH NEW CONCRETE.
- PARKING LOT PAVEMENT SHALL BE BITUMINOUS SURFACE TREATMENT, CLASS A-2, IN ACCORDANCE WITH SECTION 403 OF THE IDOT STANDARD SPECIFICATION. THE WORK SHALL CONSIST OF A PRIME COAT, A BITUMINOUS COVER COAT MATERIAL AND A COVER COAT AGGREGATE, AND A BITUMINOUS SEAL COAT MATERIAL AND SEAL COAT AGGREGATE. THE BITUMINOUS MATERIAL, AS SPECIFIED FOR PRIME COAT, SHALL BE APPLIED UNIFORMLY AT THE RATE OF 0.30 GAL/SQ YD. THE BITUMINOUS MATERIAL, AS SPECIFIED FOR COVER COAT IN ARTICLE 403.02, SHALL BE APPLIED UNIFORMLY OVER THE SURFACE AT THE RATE OF 0.35 GAL/SQ YD. IMMEDIATELY FOLLOWING THE APPLICATION OF THE BITUMINOUS MATERIAL, THE COVER COAT AGGREGATE SHALL BE SPREAD OVER THE TREATED SURFACE AT THE RATE OF 20 LB/SQ YD.
- THE SUBGRADE SHALL BE PREPARED SO THAT AFTER COMPACTION IT WILL CONFORM TO THE ALIGNMENT, GRADE AND CROSS-SECTION SHOWN ON THE PLANS. SOFT AND UNSTABLE MATERIAL THAT WILL NOT COMPACT SHALL BE REMOVED AND REPLACED. THE ENTIRE SUBGRADE SHALL BE COMPACTED TO NOT LESS THAN NINETY-FIVE PERCENT (95%) OF THE STANDARD LABORATORY DENSITY. TOPSOIL MATERIALS SHALL NOT BE UTILIZED FOR SUBGRADES.
- PCC SIDEWALK SHALL BE 6" THICK UNLESS OTHERWISE NOTED. CROSS SLOPES SHALL BE 1/4" PER FOOT. SCORE JOINTS ARE TO BE HAND TOOLED AT 1/2" NOMINAL DEPTH AND AT 5'-0" ON CENTER.

EROSION CONTROL NOTES:

- INSTALL SILT FILTER FABRIC AND INLET PROTECTION AS NOTED ON THE PLANS. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND ANY NOTED DEFICIENCIES SHALL BE REPAIRED IMMEDIATELY. EROSION CONTROL MEASURES SHALL ALSO BE INSPECTED AFTER ANY SIGNIFICANT RAIN EVENT (1/2 INCH ACCUMULATION WITHIN A 24 HOUR PERIOD) AND NOTED DEFICIENCIES REPAIRED IMMEDIATELY.
- SEEDING SHALL TAKE PLACE AS SOON AS FINISH GRADING OPERATIONS ARE COMPLETE, UNLESS DIRECTED OTHERWISE BY THE ENGINEER. ALL STRIPPED AREAS NOT ANTICIPATED TO HAVE CONSTRUCTION TAKE PLACE WITHIN 30 DAYS SHALL BE SEEDING IMMEDIATELY, WEATHER AND SOIL CONDITIONS PERMITTING.
- ALL DISTURBED AREAS SHALL BE SEEDING WITH CLASS 1B SEED MIXTURE OR EQUAL IN ACCORDANCE WITH SECTION 250 OF THE IDOT STANDARD SPECIFICATIONS. STRAW MULCH SHALL BE APPLIED TO ALL SEEDING AREAS ACCORDING TO METHOD 2, PROCEDURE 2 OF ARTICLE 251.03 OF THE IDOT STANDARD SPECIFICATIONS. MULCH METHOD 2, PROCEDURE 2 SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS ON ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); EMBANKMENTS OF PONDS, BASINS, AND TRAPS; AND WITHIN FOURTEEN (14) DAYS ON ALL OTHER DISTURBED OR GRADED AREAS. THE REQUIREMENTS OF THIS SECTION DO NOT APPLY TO THOSE AREAS WHICH ARE SHOWN ON THE PLAN AND ARE CURRENTLY BEING USED FOR MATERIAL STORAGE OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED.

GRADING NOTES:

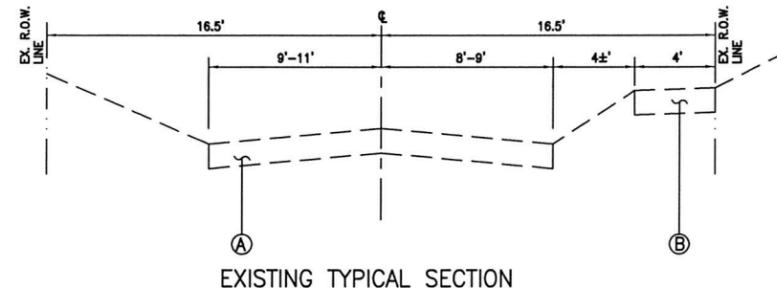
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING INCLUDING EXCAVATION, EMBANKMENT AND BACKFILLING AS NECESSARY TO CONSTRUCT ALL PAVEMENT TO THE ELEVATIONS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING STORM OR SANITARY MANHOLES OR OTHER EXISTING UTILITIES DURING GRADING.
- ALL TRENCHING OPERATIONS WITHIN A PREPARED SUBGRADE SHALL BE BACKFILLED IN SUCH A MANNER THAT THE SUBGRADE WILL REMAIN IN THE CONDITION EXISTING BEFORE CONSTRUCTION OPERATIONS BEGAN. THE CONTRACTOR WILL BE HELD LIABLE FOR THE COST OF ANY GRADING OPERATIONS NECESSARY TO CORRECT FAULTY BACKFILLING OR CLEANUP PROCEDURES.
- EXISTING VEGETATION AND TOPSOIL SHALL BE REMOVED AND STOCKPILED AS DIRECTED BY THE OWNER'S REPRESENTATIVE. REMOVAL SHALL BE TO A DEPTH AS NEEDED TO REMOVE ALL ORGANIC MATERIAL.
- SUBGRADE WITHIN THE PROPOSED PAVEMENT AND BUILDING SITE AREAS SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE STANDARD LABORATORY DENSITY IN ACCORDANCE WITH SECTION 205 OF THE STANDARD SPECIFICATIONS.
- LANDSCAPED AREAS SHALL RECEIVE A MINIMUM OF 6 INCHES OF TOPSOIL IN EMBANKMENT AREAS. EXCAVATION AREAS SHALL BE UNDERCUT 6 INCHES IN LANDSCAPED AREAS TO ACCOMMODATE 6 INCHES OF TOPSOIL TO FINISH GRADE. AREAS SURROUNDING PROPOSED TREES SHALL RECEIVE A MINIMUM OF 24 INCHES OF TOPSOIL.

UTILITY CONSTRUCTION NOTES:

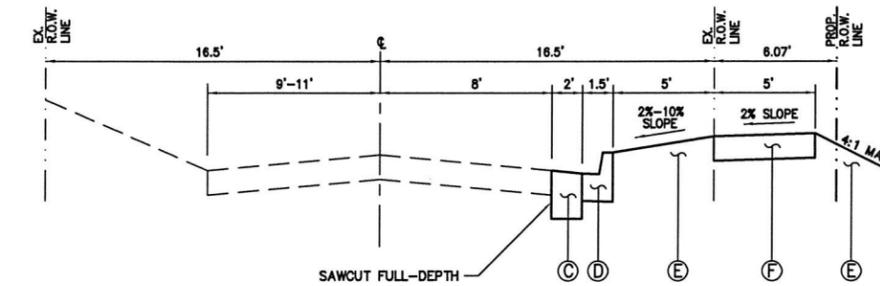
- CONTRACTOR SHALL VERIFY THE LOCATION AT BUILDING OF ALL PROPOSED UTILITIES WITH THE BUILDING PLANS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF ALL EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION OR ORDERING STORM SEWER STRUCTURES.
- CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- ALL TRENCHING OPERATIONS BENEATH PROPOSED PAVEMENT CURB AND GUTTER OR SIDEWALK OR WITHIN 2' THEREOF SHALL BE BACKFILLED WITH TRENCH BACKFILL.
- CONTRACTOR SHALL CONDUCT AN EXPLORATORY EXCAVATION TO DETERMINE POTENTIAL CONFLICTS BETWEEN EXISTING UNDERGROUND UTILITIES AND THE PROPOSED STORM SEWER / SANITARY SEWER / WATER SERVICE. THE EXCAVATION SHALL BE PERFORMED PRIOR TO ANY UTILITY WORK AT THE BUILDING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY VERTICAL OR HORIZONTAL CONFLICTS.
- ALL STORM SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION, ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. STORM SEWER 12-INCH DIAMETER AND GREATER SHALL BE REINFORCED CONCRETE PIPE AND STORM SEWER 10-INCH DIAMETER AND SMALLER SHALL BE PVC.
- ALL WATER SERVICE MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH VILLAGE OF MAHOMET REQUIREMENTS. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH THE VILLAGE.
- ALL WATER SERVICES SHALL BE SEPARATED FROM DRAINS, SANITARY AND STORM SEWERS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND DETAIL 8/C6.

TYPICAL SECTION KEY

- (A) EX. OIL & CHIP PAVEMENT (THICKNESS UNKNOWN)
- (B) EX. CONCRETE SIDEWALK
- (C) PORTLAND CEMENT CONCRETE WIDENING, 10" THICK
- (D) COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12
- (E) FURNISH & PLACE TOPSOIL, 6" THICK
- (F) PORTLAND CEMENT CONCRETE SIDEWALK, 6" THICK

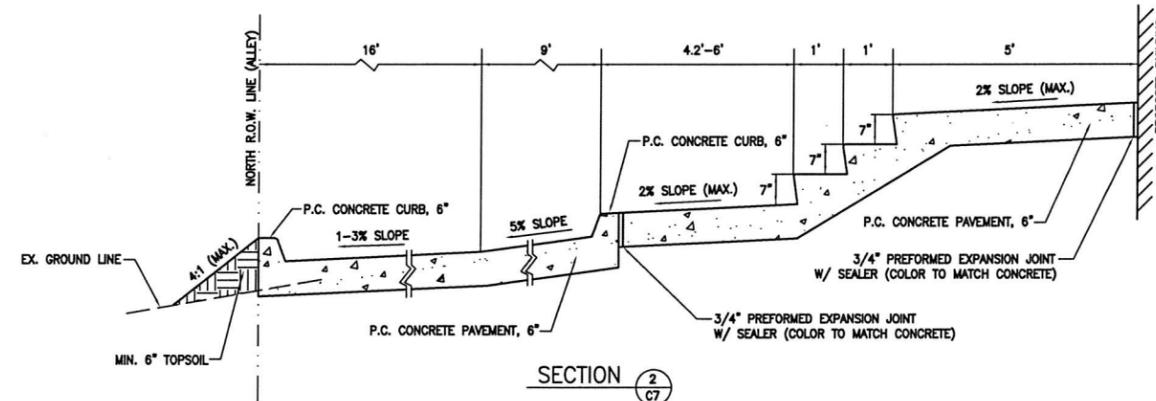


EXISTING TYPICAL SECTION

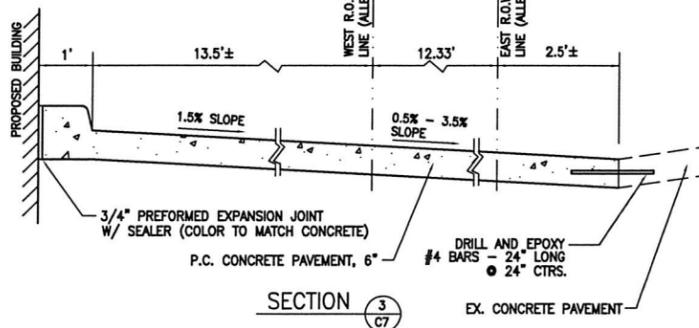


PROPOSED TYPICAL SECTION

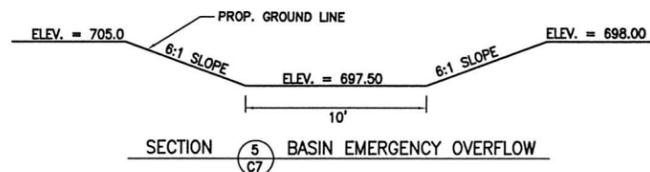
SECTION 1 JEFFERSON STREET



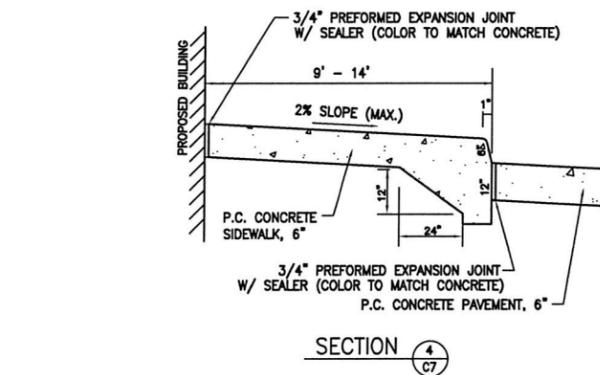
SECTION 2



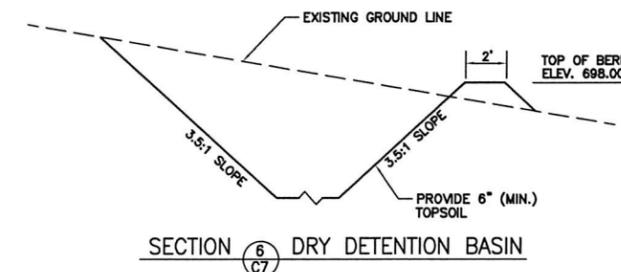
SECTION 3



SECTION 5 BASIN EMERGENCY OVERFLOW



SECTION 4



SECTION 6 DRY DETENTION BASIN

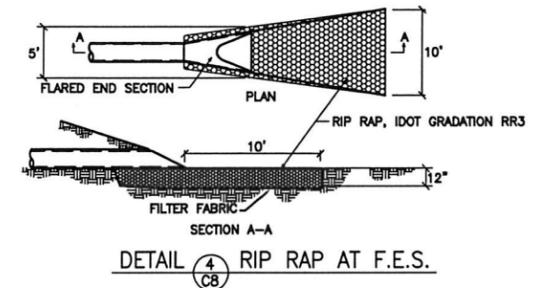
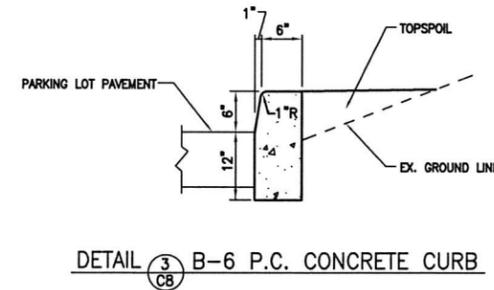
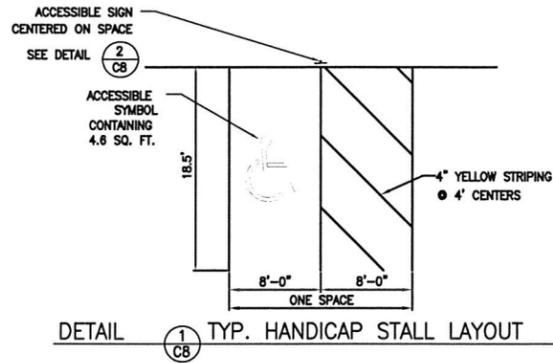
REVISIONS	
NO.	DESCRIPTION

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CELL: 217.840.3546 | OFFICE: 217.531.2971 | FAX: 217.531.2211

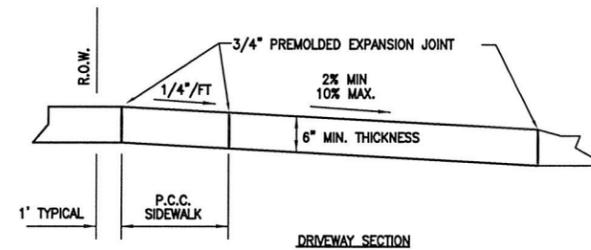
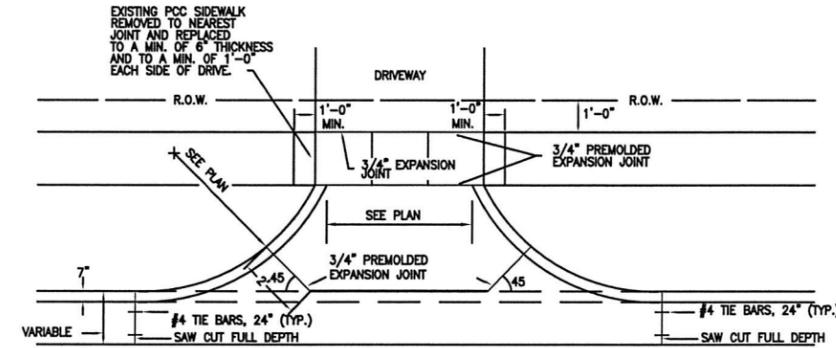
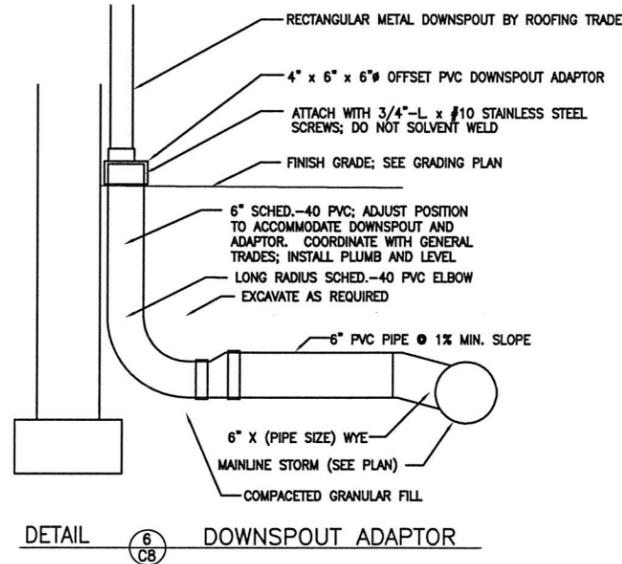
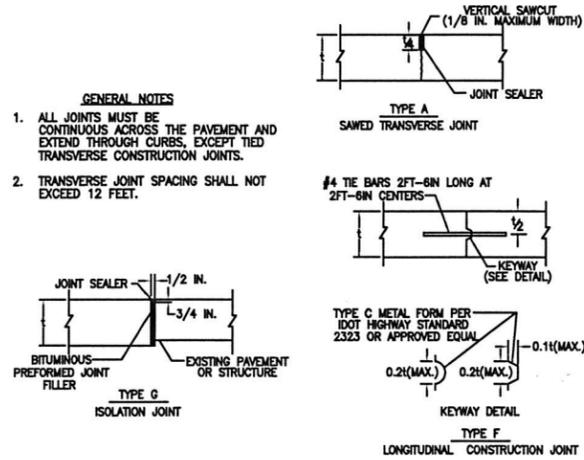
NOTES AND SECTIONS
NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET: C7

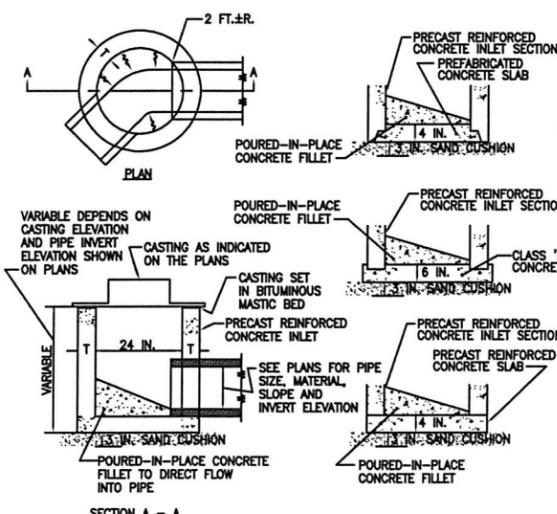
- PAVEMENT MARKINGS SHALL CONFORM TO SECTION T-502 OF THE STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS.
- ALL PARKING STRIPING SHALL BE YELLOW.
- ACCESSIBLE SYMBOLS SHALL BE LARGE SIZE CONTAINING 4.6 SQ. FT. OF AREA EACH.
- REFER TO PAVING PLAN FOR PLACEMENT OF ACCESSIBLE SIGNAGE. SIGNS SHALL BE CENTERED ON EACH 18' SPACE.
- ACCESSIBLE SIGNS SHALL CONSIST OF ILLINOIS STANDARD SIGNS: R7-8 "ACCESSIBILITY SYMBOL" R7-1101 "\$250 FINE"
- SLOPE OF ACCESSIBLE SPACES SHALL NOT EXCEED 2.00% IN ANY DIRECTION.



- GENERAL NOTES**
- ALL JOINTS MUST BE CONTINUOUS ACROSS THE PAVEMENT AND EXTEND THROUGH CURBS, EXCEPT TIED TRANSVERSE CONSTRUCTION JOINTS.
 - TRANSVERSE JOINT SPACING SHALL NOT EXCEED 12 FEET.

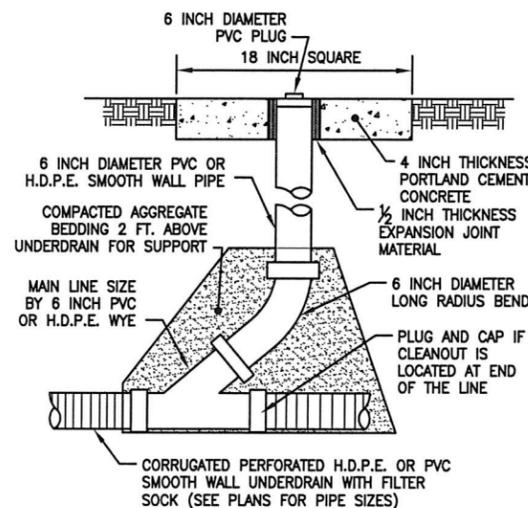


DETAIL 7 CB DRIVEWAY ENTRANCE

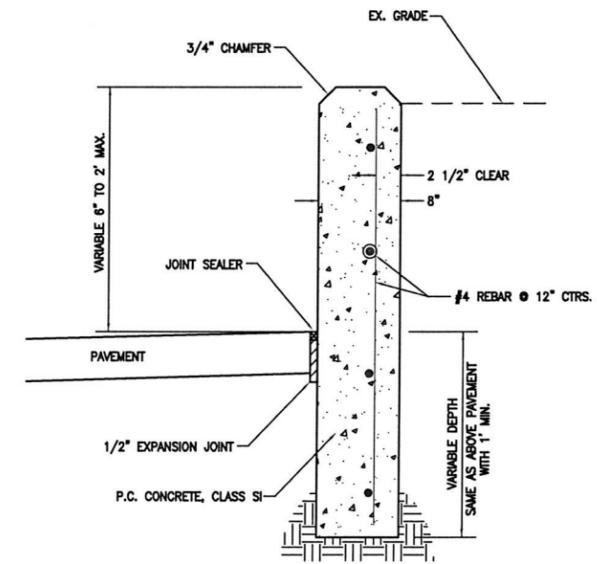


ALTERNATIVE MATERIALS FOR WALLS	T
PRECAST REINFORCED CONCRETE SECTIONS	3 IN.
CONCRETE MASONRY UNITS	5 IN.
CAST-IN-PLACE CONCRETE	6 IN.

- NOTES:**
- ONLY PRECAST REINFORCED CONCRETE SECTIONS SHALL BE USED UNLESS PRIOR APPROVAL IS OBTAINED FROM THE VILLAGE ENGINEER.
 - THE OUTSIDE OF INLETS CONSTRUCTED OF CONCRETE MASONRY UNITS SHALL BE SEALED WITH A BITUMINOUS WATERPROOF MATERIAL.
 - INLETS SHALL COMPLY WITH THE APPLICABLE PORTIONS OF I.D.O.T. STANDARD 602301, LATEST EDITION AND THE APPLICABLE PROVISIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS.
- FRAMES AND LIDS**
- FRAMES AND LIDS SHALL CONFORM TO THE FOLLOWING NEENAH CATALOG NUMBERS OR APPROVED EQUAL:
- R3502B FOR ROLL CURBS
R3281B FOR BARRIER CURBS
R2502B FOR FLAT PAVEMENT AND TURF AREAS
R4340B FOR TURF AREAS



DETAIL 9 CB CLEANOUT



DETAIL 10 CB CURB WALL

REVISIONS

NO.	DATE	DESCRIPTION



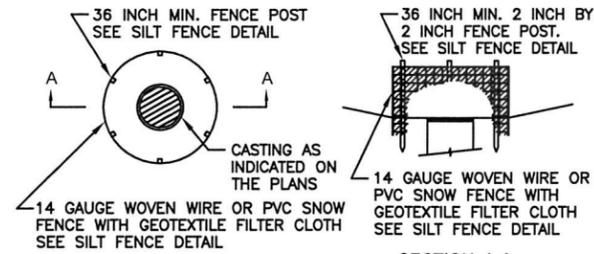
B K B
E N G I N E E R I N G
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DETAILS

NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

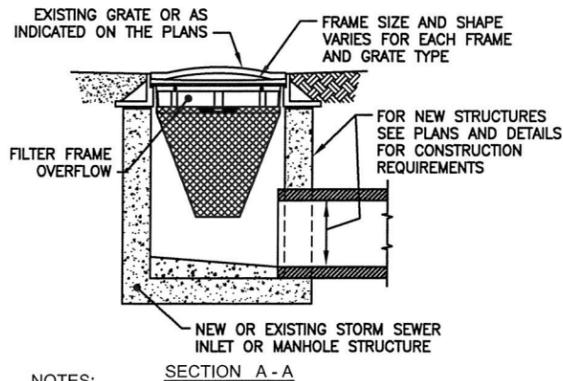
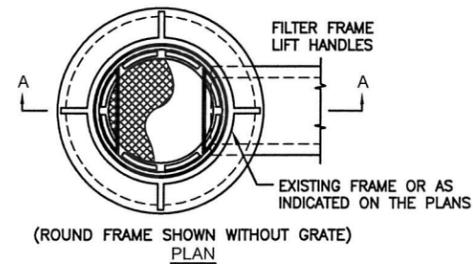
PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET:

C8



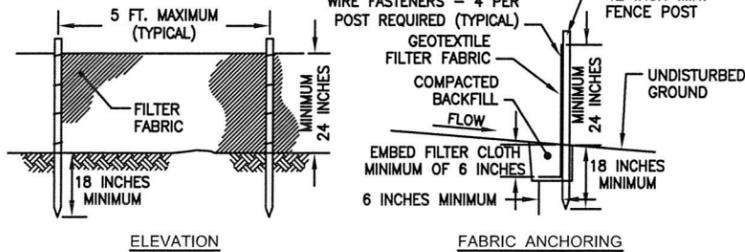
- NOTES:
1. EMBED FABRIC 6 INCHES BELOW GROUND SURFACE.
 2. REMOVE SEDIMENT BUILDUP AFTER EACH RAIN EVENT.
 3. GEOTEXTILE SHALL BE WRAPPED OVER THE TOP MEMBER OF THE WELDED WIRE BY 6 INCHES AND SECURED WITH FASTENING RINGS AT 6 INCHES ON CENTER. THE FASTENING RING SHALL PENETRATE BOTH LAYERS OF GEOTEXTILE AND SECURELY CLOSE AROUND THE TOP STEEL MEMBER. GEOTEXTILE SHALL BE OVERLAPPED A MINIMUM OF 1 FOOT AND SECURED WITH FASTENING RINGS AT 6 INCHES ON CENTER OR SEWN WITH A TYPE 401 LOCK STITCH TO FORM A SOCK. IN LIEU OF SEWING, THE FASTENING RING SHALL PENETRATE BOTH LAYERS OF GEOTEXTILE AND SECURELY CLOSE AROUND A MEMBER OF THE WOVEN WIRE.

DETAIL 1 INLET PROTECTION (LAWN)



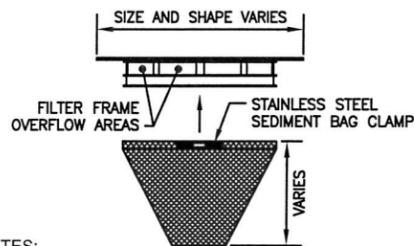
- NOTES:
1. FILTER FRAMES FOR SEDIMENT BAGS SHALL BE SHAPED TO FIT INTO THE REQUIRED INLET OR MANHOLE FRAME AND GRATES. THE FILTER FRAME SHALL HAVE AN OVERFLOW FEATURE. THE SEDIMENT BAGS SHALL HAVE A SUPPORTING NET CAPABLE OF SUPPORTING A FULL SEDIMENT BAG.
 2. CONTRACTOR WILL BE REQUIRED TO CHECK AND EMPTY SEDIMENT BAGS AFTER EACH RAIN AND AT SUCH INTERVALS NEEDED TO CONTROL SILT BUILDUP. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SEDIMENT BAGS WHEN DISCOVERED.

DETAIL 5 INLET PROTECTION (PAVEMENT)

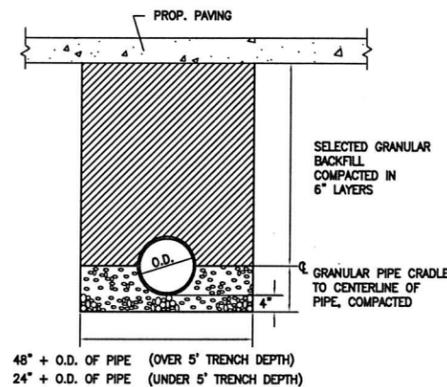
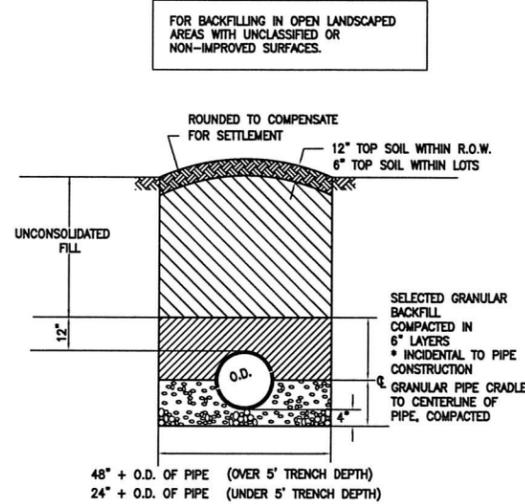


- NOTES:
1. TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
 2. FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS I WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
 3. FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQUARE INCHES.

DETAIL 2 SILT FENCE



- NOTES:
1. FRAME TOP FLANGE FABRICATED FROM 1/8 INCH FLAT STOCK. BASE RIM FABRICATED FROM 1 1/2 INCH BY 1/2 INCH BY 1/8 INCH CHANNEL. ALL DOMESTIC STEEL CONFORMING TO ASTM-A36.
 2. SEDIMENT BAG FABRICATED FROM 4 OUNCE/SQUARE YARD NON-WOVEN POLYPROPYLENE GEOTEXTILE REINFORCED WITH POLYESTER MESH. BAG SECURED TO BASE RIM WITH A STAINLESS STEEL STRAP AND LOCK.
 3. UNIT SHALL COMPLY WITH THE REQUIREMENTS OF THE IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION
 4. REMOVE SEDIMENT FROM BAG WHEN BAG IS 1/2 FULL.

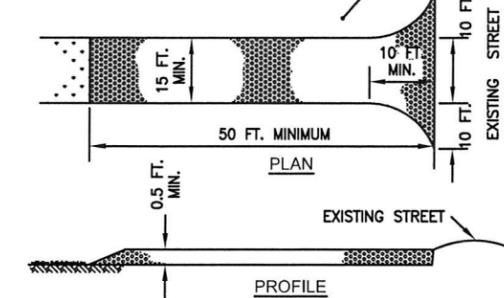


- NOTES:
1. TRENCH SIDES SHALL BE VERTICAL TO A POINT 1'-0" ABOVE THE TOP OF THE PIPE. SLOPED SIDES MAY BE USED ABOVE THIS POINT. A 2 FT. EXCAVATED SHELF SHALL BE MAINTAINED AROUND THE PERIMETER OF THE EXCAVATION.

FOR BACKFILLING BENEATH RIGID PAVING INCLUDING WALKS, DRIVES, PARKING AREAS, ETC. AND WHEN INNER EDGE OF EXCAVATION IS WITHIN 2' OF EXISTING OR PROPOSED CURB, PAVEMENT, OR SIDEWALK.

DETAIL 3 UTILITY TRENCH

SEDIMENT TRAPPING BASIN REQUIRED WHEN WHEEL WASHING OR DRAINAGE CROSSES CONSTRUCTION ENTRANCE. LOCATION(S) AS INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER OR OWNER'S REPRESENTATIVE



- NOTES:
1. STONE SIZE - USE 2 INCH DIAMETER OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET LONG (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH MAY APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, THE FLOW SHOULD BE DIVERTED. AN APPROVED SEDIMENT TRAPPING DEVICE MAY BE REQUIRED BY THE ENGINEER'S OR OWNER'S REPRESENTATIVE. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
 8. WASHING - WHEELS AND UNDERSIDE OF VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO A SEDIMENT TRAPPING DEVICE AS APPROVED BY THE ENGINEER OR OWNER'S REPRESENTATIVE.
 9. CONTRACTOR MAY LOCATE CONSTRUCTION ENTRANCES TO ACCOMMODATE CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE PUBLIC ROAD AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION. WHEN CONSTRUCTION ENTRANCES MUST BE LOCATED IN AREAS WITH EXISTING STREET CURBS; WHERE POSSIBLE, LOCATE CONSTRUCTION ENTRANCES WHERE EXISTING STREET CURBS WILL BE REMOVED AS PART OF THE PROJECT. EXISTING STREET CURBS TO REMAIN MUST BE PROTECTED FROM DAMAGE IN AN APPROPRIATE MANNER SUCH AS RAMPS BUILT OF 6 INCH BY 6 INCH POSTS, 4 INCH BY 4 INCH POSTS AND 2 INCH BY 4 INCH TREATED LUMBER OR "COLD PATCH" OVER 4 INCH DIAMETER CONDUIT TO ALLOW GUTTER FLOW. CONTRACTOR SHALL REMOVE AND REPLACE ANY STREET CURBS DAMAGED DURING CONSTRUCTION.

DETAIL 4 STABILIZED CONSTRUCTION ENTRANCE

NO.	DATE	DESCRIPTION

REVISIONS

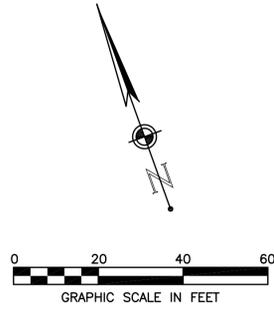
301 N. NEL STREET, SUITE 400 | CHAMPAIGN, IL 61820
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DETAILS

NEW RETAIL BUILDING
 602 E. MAIN ST.
 MAHOMET, ILLINOIS

PROJECT: 13-1601
 DESIGN BY: BKB
 DRAWN BY: BKB
 DATE: 8/20/16
 SHEET:
 C9

VACATION PLAT OF SURVEY MAHOMET, ILLINOIS



 AREA OF ALLEY TO BE VACATED BY THIS PLAT

STATE OF ILLINOIS)
COUNTY OF CHAMPAIGN) S.S.

I, BRYAN K. BRADSHAW, ILLINOIS PROFESSIONAL LAND SURVEYOR 035-003838, DO HERBY STATE THAT AT THE REQUEST OF THE VILLAGE OF MAHOMET, I HAVE PREPARED A VACATION PLAT OF SURVEY BEING A PART OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN IN CHAMPAIGN COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 11 IN C.C. HAWES ADDITION TO THE TOWN OF MIDDLETOWN, NOW MAHOMET AS PER PLAT RECORDED IN DEED RECORD "P" AT PAGE 404, IN CHAMPAIGN COUNTY, ILLINOIS;

THENCE EASTERLY ALONG THE SOUTHERLY LINE OF LOTS 11, 10, 9 AND 8 OF SAID C.C. HAWES ADDITION A DISTANCE OF 210.33 FEET TO THE WESTERLY LINE, EXTENDED NORTH, OF LOT 18 IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91;

THENCE SOUTHERLY ALONG SAID WESTERLY LINE OF LOT 18, EXTENDED NORTH, A DISTANCE OF 16.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 18;

THENCE SOUTHERLY ALONG SAID WESTERLY LINE OF LOT 18 A DISTANCE OF 165.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 18 BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY OF MAIN STREET;

THENCE WESTERLY ALONG SAID NORTHERLY RIGHT-OF-WAY OF MAIN STREET A DISTANCE OF 12.33 FEET TO THE SOUTHWEST CORNER OF LOT 20 OF SAID ORIGINAL TOWN OF MIDDLETOWN;

THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID LOT 20 A DISTANCE OF 165.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 20;

THENCE WESTERLY ALONG THE NORTHERLY LINE OF LOTS 20, 22 AND 24 OF SAID ORIGINAL TOWN OF MIDDLETOWN A DISTANCE OF 198.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 24 BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF JEFFERSON STREET;

THENCE NORTHERLY ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF JEFFERSON STREET A DISTANCE OF 16.00 FEET TO THE POINT OF BEGINNING.

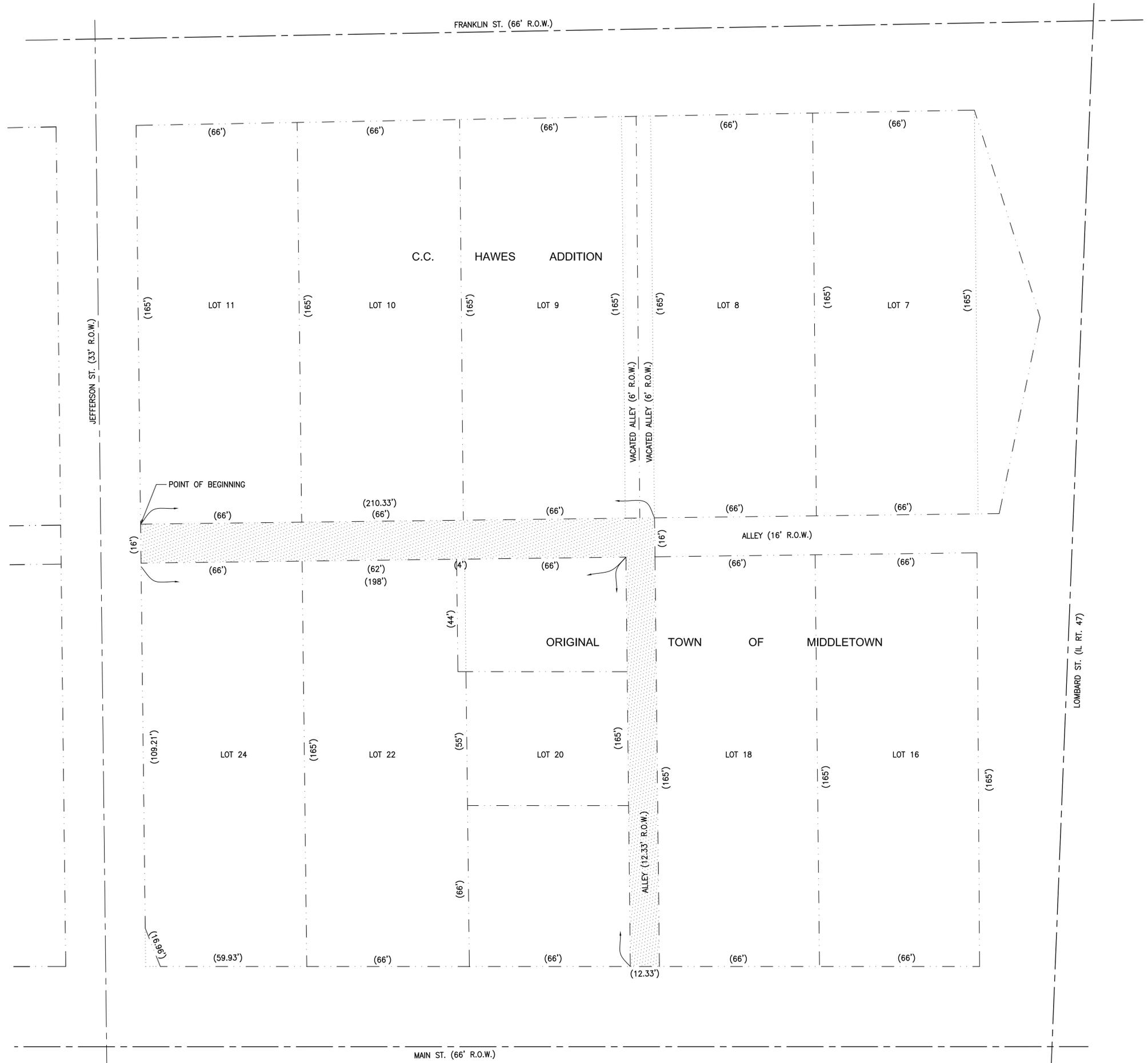
I FURTHER STATE THAT ALL RECORDED MEASUREMENTS ARE IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER STATE THAT I MADE NO INVESTIGATION CONCERNING ZONING OR LAND USE, INDEPENDENT SEARCH OF THE RECORDS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, OWNERSHIP, TITLE/EVIDENCE OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

I FURTHER STATE THAT THE ATTACHED PLAT IS NOT THE RESULT OF A PRESENT BOUNDARY SURVEY AND IS BASED ON RECORD INFORMATION.

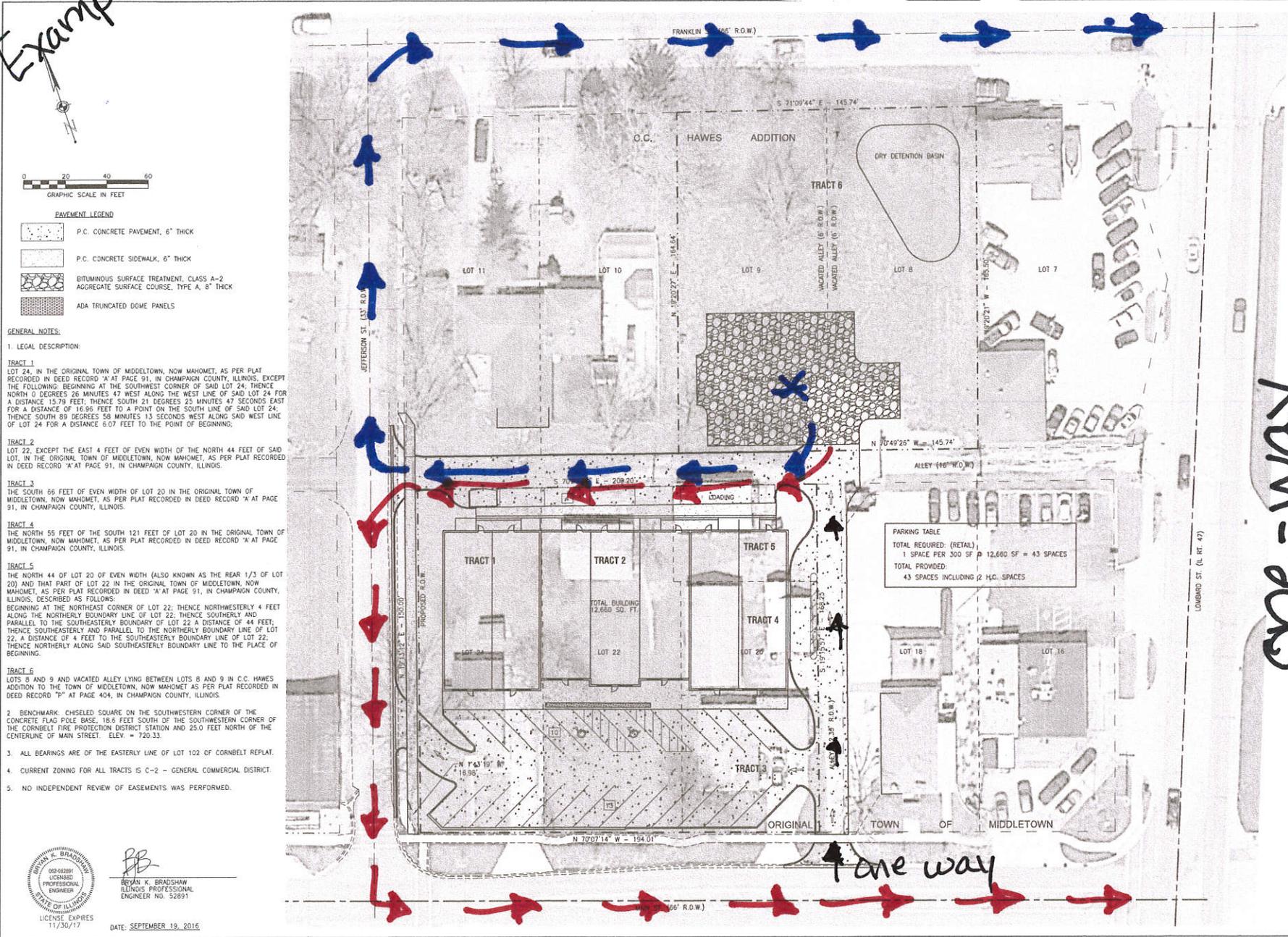
SIGNED AND SEALED, SEPTEMBER 18, 2016


BRYAN K. BRADSHAW, PLS
ILLINOIS PROFESSIONAL LAND
SURVEYOR NO. 035-003738
BKB ENGINEERING, INC.
301 N. NEIL ST., SUITE 400
CHAMPAIGN, IL 61820
(217) 531-2971
PROFESSIONAL DESIGN
FIRM NO. 184-005483



Example 3

OVERFLOW LOT TO LOMBARD



REVISIONS NO.	DATE	DESCRIPTION

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CELL: 217.551.2071 | FAX: 217.531.2211

OVERALL SITE PLAN

NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET: C1

one-way

one way

Overflow lot to Lombard

Examples

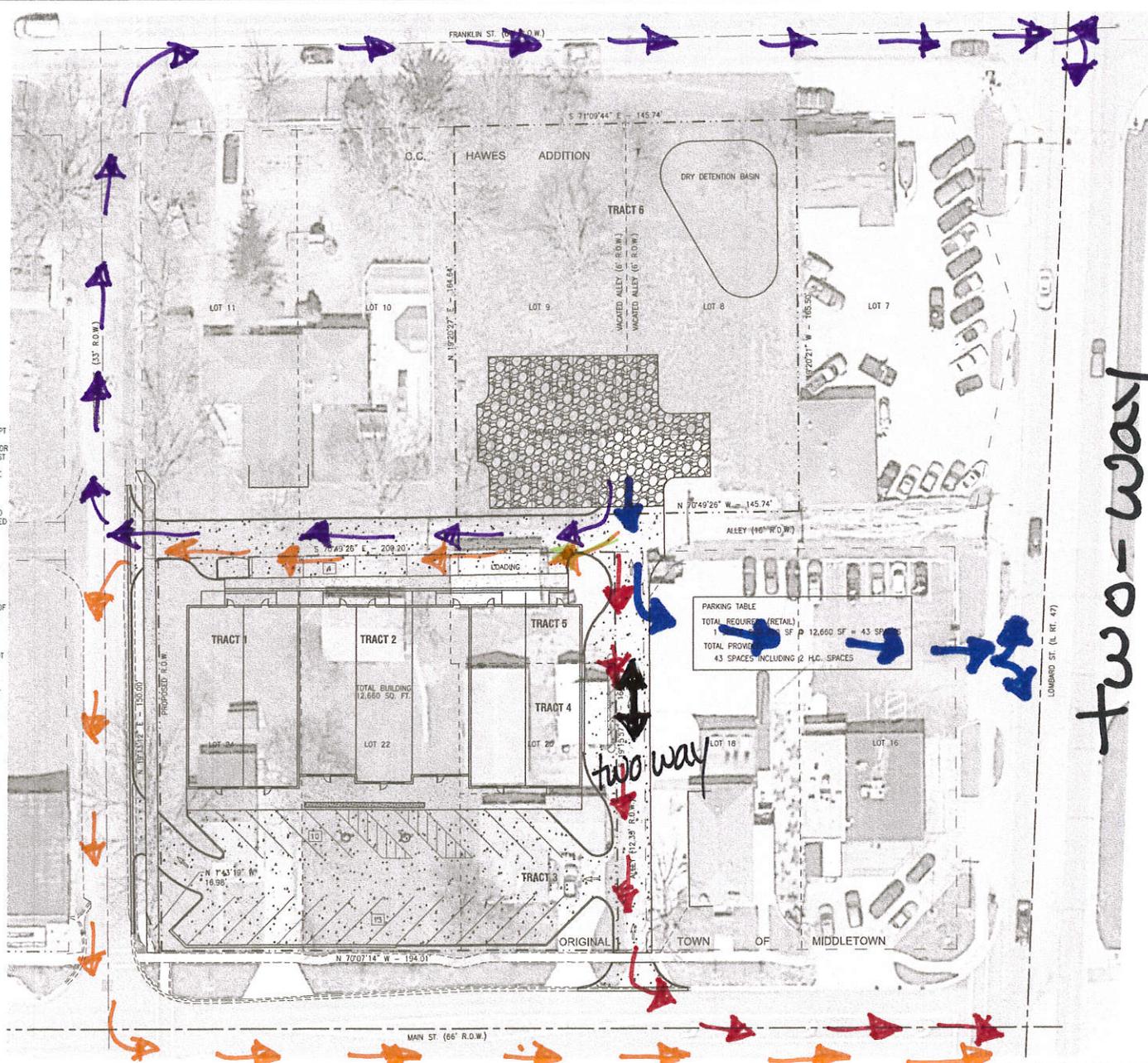


- PAVEMENT LEGEND**
- P.C. CONCRETE PAVEMENT, 6" THICK
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- GENERAL NOTES:**
- LEGAL DESCRIPTION:
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 - ALL BEARINGS ARE OF THE EASTERLY LINE OF LOT 102 OF CORNBELT REPLAT.
 - CURRENT ZONING FOR ALL TRACTS IS C-2 - GENERAL COMMERCIAL DISTRICT
 - NO INDEPENDENT REVIEW OF EASEMENTS WAS PERFORMED.



BEVAN K. BRADSHAW
ILLINOIS PROFESSIONAL
ENGINEER NO. 52891
DATE: SEPTEMBER 19, 2016



two-way

REVISIONS	
NO.	DATE DESCRIPTION

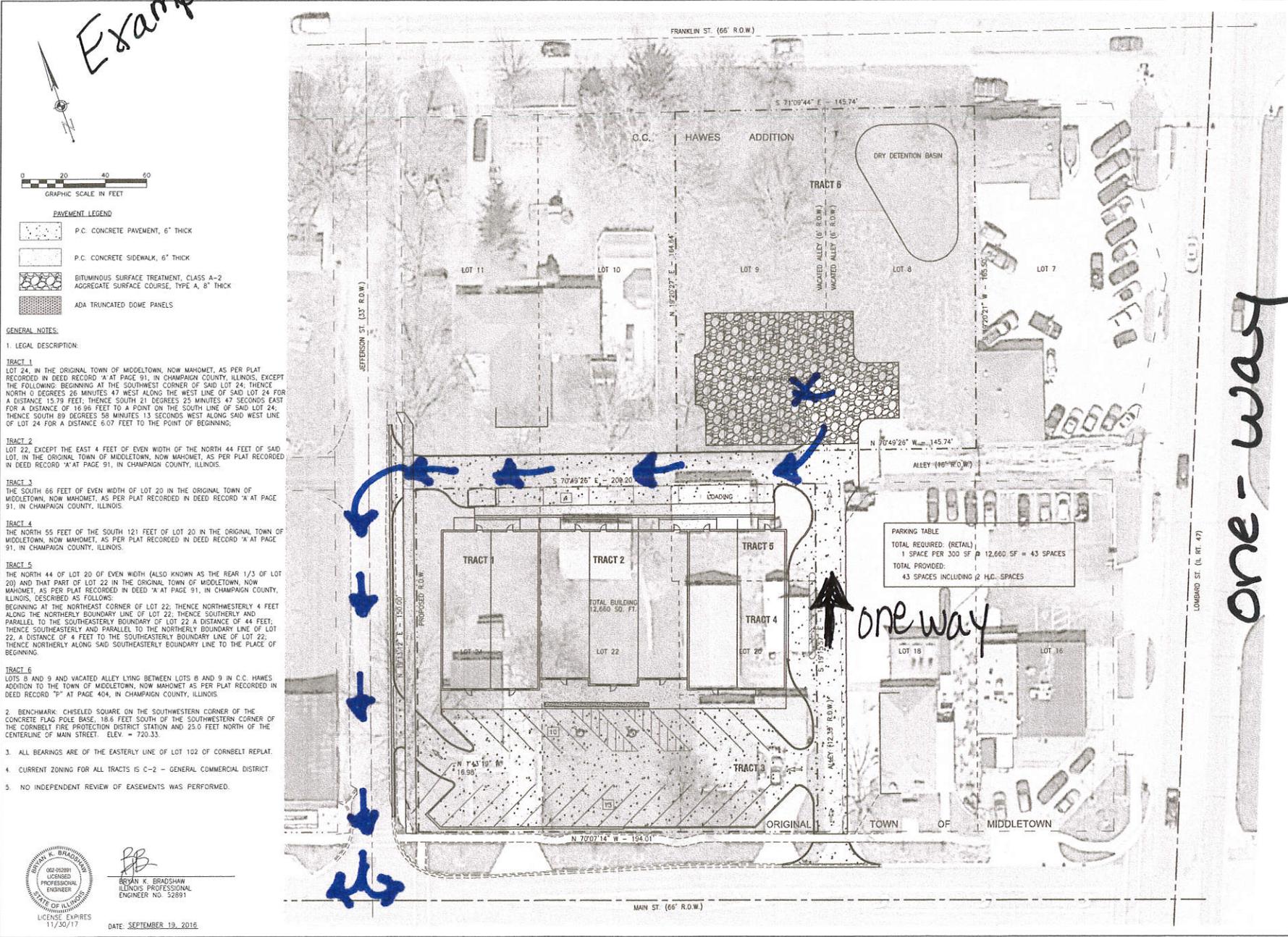
BKB	
ENGINEERING	
301 N. NIEL STREET, SUITE 403 CHAMPAIGN, IL 61820 CELL: 217.940.3546 OFFICE: 217.531.2871 FAX: 217.531.2211	

OVERALL SITE PLAN
NEW RETAIL BUILDING 602 E. MAIN ST. MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET: C1

Example 6

Overflow Lot to Main



- PAVEMENT LEGEND**
- P.C. CONCRETE PAVEMENT, 6" THICK
 - P.C. CONCRETE SIDEWALK, 6" THICK
 - BITUMINOUS SURFACE TREATMENT, CLASS A-2
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Bryan K. Bradshaw
ILLINOIS PROFESSIONAL ENGINEER NO. 52691

DATE: SEPTEMBER 19, 2016

NO.	DATE	DESCRIPTION

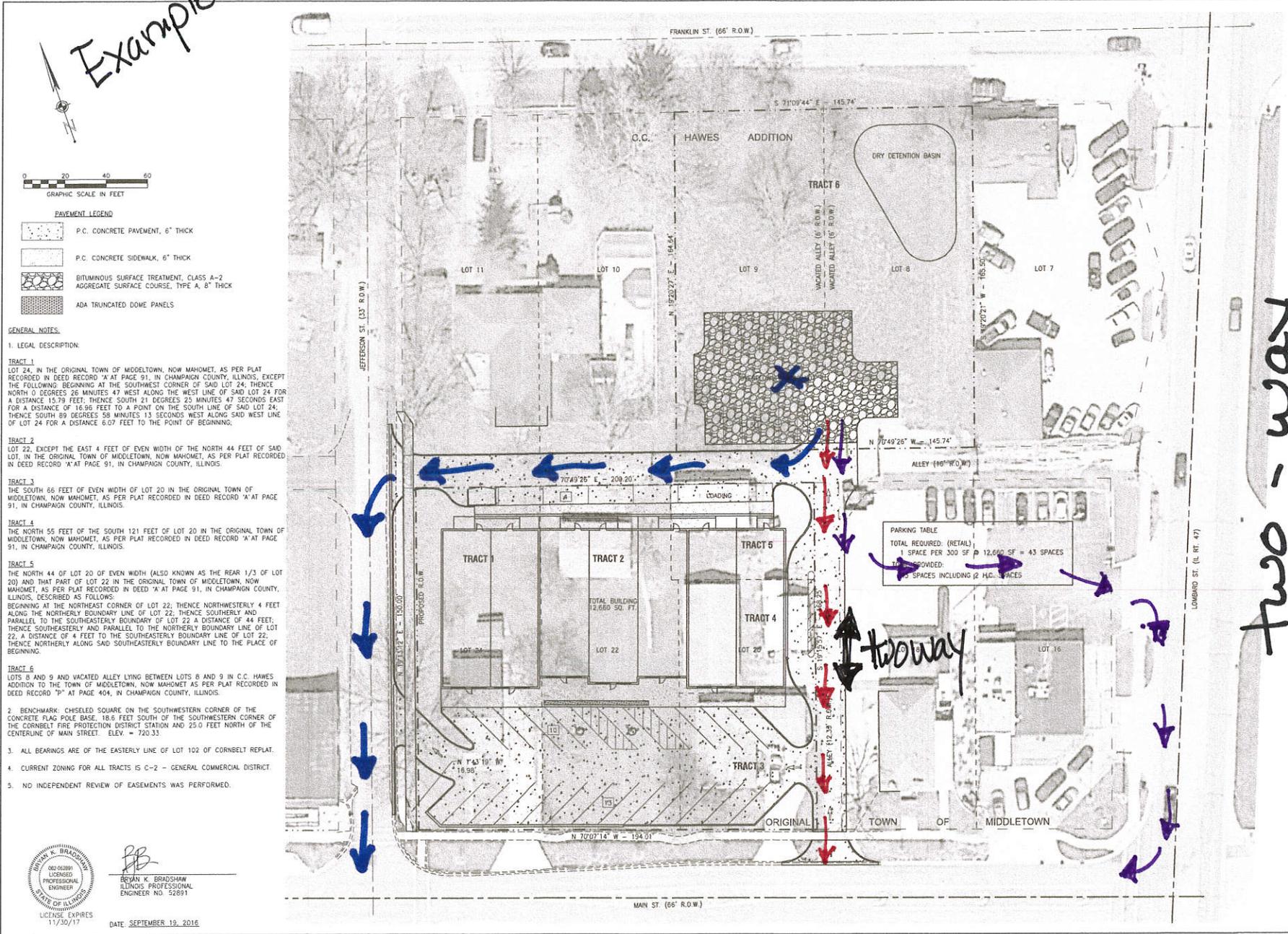
BKB
ENGINEERING
301 N. NIEL STREET, SUITE 405 | CHAMPAIGN, IL 61820
CELL: 217.940.3546 | OFFICE: 217.531.5971 | FAX: 217.531.2211

OVERALL SITE PLAN
NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET:

Overflow lot to Main

Example:



- PAVEMENT LEGEND**
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 5. NO INDEPENDENT REVIEW OF EASEMENTS WAS PERFORMED.

BK B
 BRYAN K. BRADSHAW
 ILLINOIS PROFESSIONAL
 ENGINEER NO. 52691
 DATE: SEPTEMBER 19, 2016

REVISIONS	
NO.	DESCRIPTION

BK B	
ENGINEERING	
301 N. NEIL STREET, SUITE 405 CHAMPAIGN, IL 61820	
CELL 217.840.3546 OFFICE 217.531.2071 FAX 217.531.2011	

OVERALL SITE PLAN	
NEW RETAIL BUILDING	
602 E. MAIN ST.	
MAHOMET, ILLINOIS	

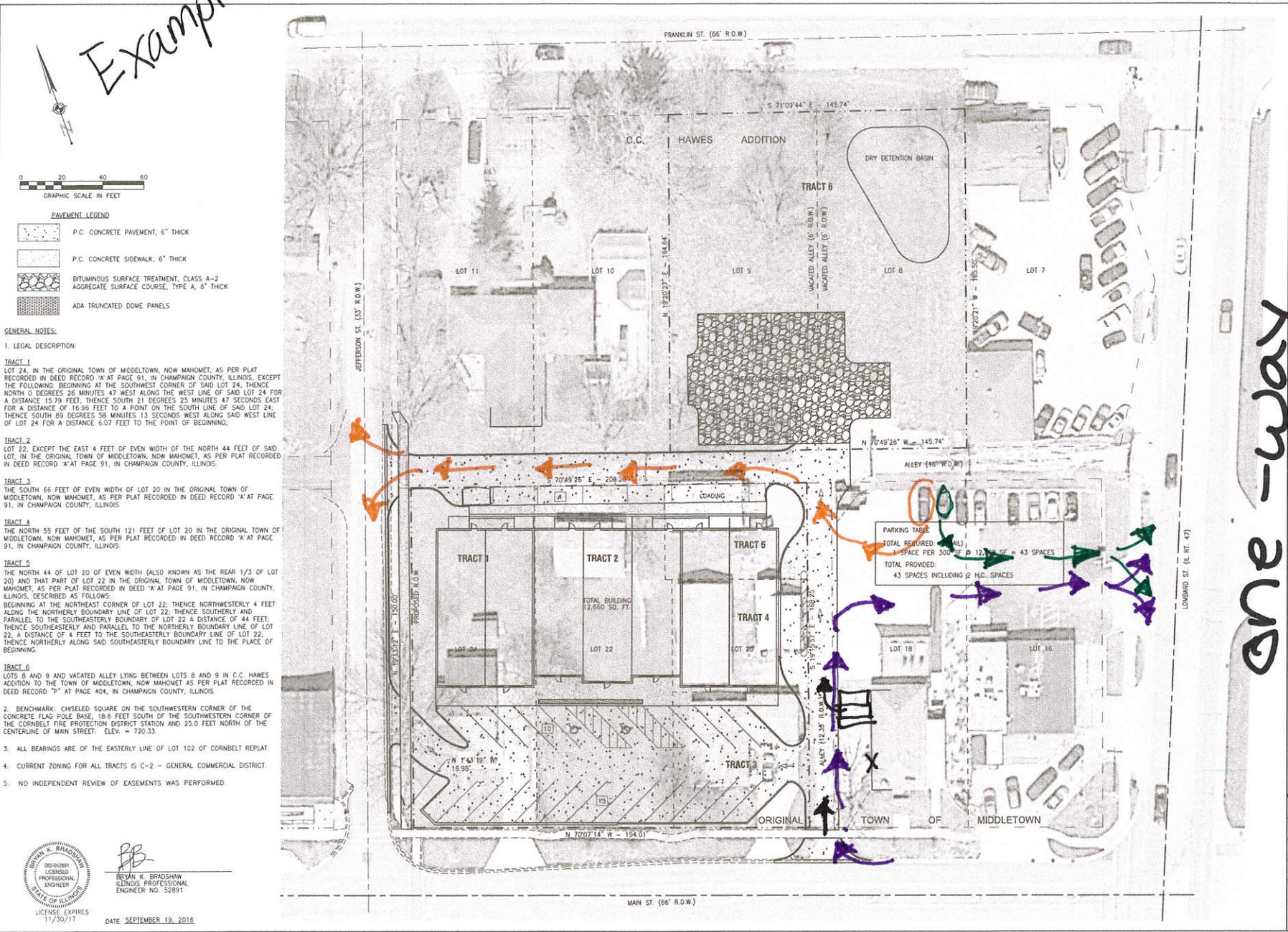
PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET:

two-way

two-way

TAFFIE'S/WINGERY LOT EFFECTS

Example:



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Bryan K. Bradshaw
ILLINOIS PROFESSIONAL ENGINEER
ENGINEER NO. 52891

DATE: SEPTEMBER 19, 2016

REVISIONS NO.	DATE	DESCRIPTION

BKBB
ENGINEERING
301 N. NEL STREET, SUITE 400 | CHAMPAIGN, IL 61820
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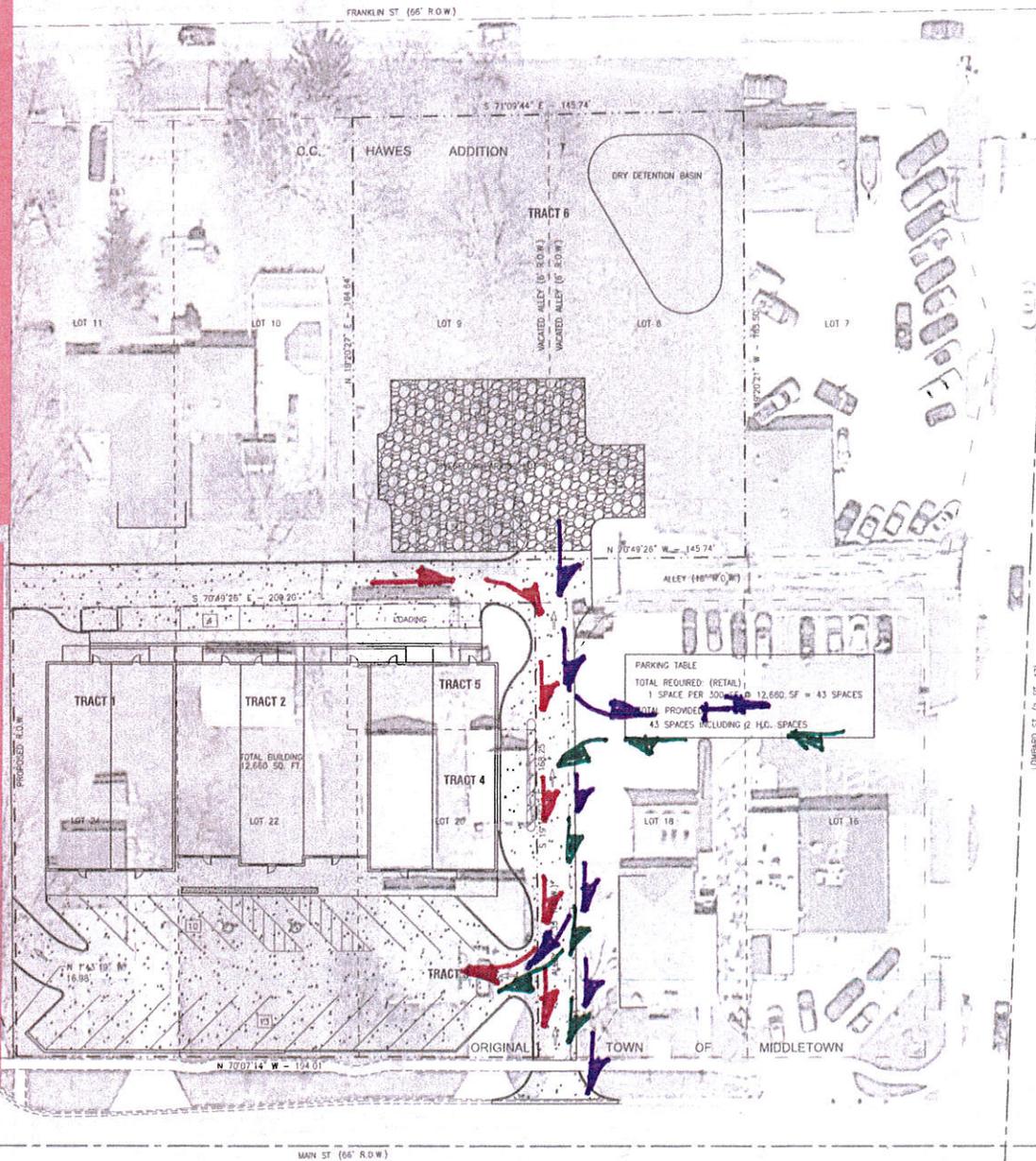
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PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET:

ADDED ROUTES BY CHANGE TO 2way

overflow lot
 - exit to Lombard thru Taffie's
 - exit to Main direct
 - exit/entrance to front lot

Lombard through Taffie's to front lot



REVISIONS	NO.	DATE	DESCRIPTION



301 N. NIEL STREET, SUITE 405 | CHAMPAIGN, IL 61820
 CELL: 217.840.3546 | OFFICE: 217.551.2971 | FAX: 217.531.2211

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 DATE: 8/20/16
 SHEET:



BRYAN K. BRADSHAW
 ILLINOIS PROFESSIONAL ENGINEER NO. 52891

LICENSE EXPIRES 11/30/17
 DATE: SEPTEMBER 19, 2016



Village of Mahomet

503 E. Main Street - P.O. Box 259 - Mahomet, IL 61853-0259
phone (217) 586-4456 fax (217) 586-5696

CONDITIONAL USES

§ 152.120 GENERALLY.

(A) The President and Board of Trustees of the village shall decide upon application for conditional use permits specifically listed in the district regulations of this chapter.

(B) Before authorizing the issuance of a conditional use permit, a public hearing shall be held before the Plan and Zoning Commission, after which a report and recommendations shall be submitted in writing by the Commission to the Board of Trustees.

(C) The Commission may recommend and the Board, in turn, may impose conditions that are consistent with development regulations in this chapter or otherwise vary from the development regulations as will, in the Board's judgment, assure the following:

- (1) The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare;
 - (2) The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted nor substantially diminish and impair property values with the neighborhood;
 - (3) The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
 - (4) Adequate utilities access roads, drainage and/or other necessary facilities will be provided;
 - (5) Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
 - (6) The conditional use shall in all other respects conform to the applicable regulations of the district in which it is located and the Board shall find that there is a public necessity.
- (Ord. passed 7-23-2002)

§ 152.121 REQUIREMENTS FOR CONDITIONAL USES.

(A) The Plan and Zoning Commission shall make a recommendation to the Board of Trustees for or against the proposed conditional use, and may also recommend additional conditions and requirements as are appropriate or necessary for the protection of public health, safety and welfare and to carry out the purposes of this chapter, including, but not limited to, the following:

- (1) Regulate the location, extent and intensity of the uses;
- (2) Require adherence to an approved site plan;
- (3) Require landscaping and the screening of those uses by means of fences, walls or vegetation;
- (4) Stipulate required minimum lot sizes, minimum yards and maximum height of buildings and structures;
- (5) Regulate vehicular access and volume and the design and location of parking and loading areas and structures;
- (6) Require conformance to health, safety and sanitation requirements as necessary;
- (7) Regulate signs and outdoor lighting; and
- (8) Any other conditions deemed necessary to effect the purposes of this chapter.

(B) The Board of Trustees may impose any conditions or requirements, including but not limited to those recommended by the Plan and Zoning Commission, which it deems appropriate or necessary in order to accomplish the purposes of this chapter. The Board of Trustees may vary the terms of area, height, yard and other development regulations for conditional uses to carry out the purposes of this chapter. A conditional use authorized by the Board of Trustees shall be subject to all the development regulations applicable to permitted uses in the district in which it is located, unless other regulations are specifically stated in the conditional use permit. (Ord. passed 7-23-2002)

Case Name: Main St. Cond Use
1002-606 E Main St.

REQUEST FOR CONDITIONAL USE
VILLAGE OF MAHOMET

DO NOT WRITE IN THIS SPACE – FOR OFFICE USE ONLY

Date Filed: 9/16/16 Date of Hearing: 10/4/2016

Date of Published Notice: 9-16-16 Newspaper: MC

Fee Paid – Receipt No.: ✓# 0100 Amount: \$300⁰⁰ Date: 9/16/14

Comments (indicate other actions such as continuances): _____

Action by Board on Request: _____

NOTICE TO APPLICANTS

1. A Conditional Use Permit is a Zoning adjustment which permits a change in district requirements and which permits uses not normally allowed by strict application of the ordinance. The Village of Mahomet may impose any conditions of acceptance which it deems to be in the best interests of the community, to which the applicant must abide. Those conditions may include compliance to a site development plan.
2. No Conditional Use Permit will be granted which would adversely affect surrounding property or the general neighborhood. All Conditional Uses must be in harmony with the intent and purpose of the Zoning Ordinance.
3. There will be no refund of application fee for any Conditional Use Permit not granted or withdrawn.
4. No incomplete applications will be acted upon.
5. Granting a Conditional Use Permit requires that the Village hold a Public Hearing regarding the request and publication of a Public Notice 15 days in advance of the Hearing. Applicants are urged to coordinate their activities with Village staff to assure consideration of their request in as timely a manner as is reasonably possible.

DATE ON APPLICANT AND OWNERS

Name of Applicant(s): Jody Wesley Phone: 217-202-9924

Address of Applicant(s): 807 West Oak, Mahomet

Property Interest of Applicant(s): Owner
(Owner, Contract Purchaser/Agent, etc.)

Name of Owner: One East Main LLC

Address of Owner: P.O. Box 265, Mahomet, Ill. 61853

ADDRESS, AND DESCRIPTION OF PROPERTY

Address: 602 - 606 East Main Street

Width of Lot: 198' Length of Lot: 165' Lot Area (Square feet): 32670.

Tax Parcel Number: _____
15-13-15-180-005, 15-13-15-180-006, 15-13-15-180-008, 15-13-15-180-009

Legal Description (or attach legal description): 15-13-15-180-007

See Attached.

LAND USE AND ZONING

Present Zoning: C2

Present Land Use: Residential / Vacant

Proposed Land Use: Mixed use Commercial

Surrounding Zoning - See Attached

Surrounding Land Use

North _____

South _____

East _____

West _____

REASONS FOR REQUEST FOR CONDITIONAL USE PERMIT

NOTE: The Following questions must be answered completely. If additional space is needed, attach extra pages to the application. Before answering, read the **Notice to Applicants** attached.

1. Describe in detail the purposed conditional use being requested.

Combining multiple lots into one for mixed commercial use. Development on individual lots are challenging. This type of development needs Tenant flexibility.

2. Are there other sites available for the proposed use? Explain.

No.

3. What circumstances justify the need for the proposed use at this location? Elaborate.

Redevelopment in Core Commercial Area. Extremely small site for mixed use.

4. Does any violation of the Village of Mahomet Zoning Ordinance exist on the property at the present time? Yes _____ No If yes, how?

5. Is the subject property planned to be improved? Yes No _____

When? *ASAP*

What improvements are planned? *See Site Plan*

6. Will the grant of conditional use in the form requested be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance? Elaborate.

yes. Continues the main street theme.

7. Have there been major land use changes since zoning was applied in 1963 i.e. new expressway, new dam, etc? Elaborate.

Yes. Residential areas have been converting to institutional over time.

8. Would the proposed change create an isolated use unrelated to adjacent land use or zoning? Explain.

No

9. Can the owner of the property realize an economic benefit from permitted uses in accordance with existing zoning? Elaborate.

No. Small sites inhibit this type of development.

10. Are there other sites available already zoned for the proposed use? Elaborate.

Limited Supply

11. Additional comments by the Applicant: _____

SKETCH PLAN

1. Is there a scaled plot plan attached that indicates the location of the premises and the nature of the site? Yes No _____ (Application will not be processed without the required drawing)

2. Additional exhibits submitted by Applicant: See attached.

I (we) certify that all of the above statements and the statements contained in any papers or plan submitted herewith are true to the best of my (our) knowledge and belief.

Judy Wesley
(Signature) Applicant
Judy Wesley
(Signature) Owner

09/06/16
Date
09/06/16
Date

Tax Parcel Map



Piatt County, Champaign County GIS Consortium

This map was prepared with geographic information system (GIS) data created by the Champaign County GIS Consortium (CCGIS), or other CCGIS member agency. These entities do not warrant or guarantee the accuracy or suitability of GIS data for any purpose. The GIS data within this map is intended to be used as a general index to spatial information and not intended for detailed, site-specific analysis or resolution of legal matters. Users assume all risk arising from the use or misuse of this map and information contained herein. The use of this map constitutes acknowledgement of this disclaimer.



Proposed Mixed Use Tenant List

Food Service (Pizza, Ice Cream, Coffee)

General Retail (Clothing, Antiques, Office Supply)

Consumer Services (Beauty Salon, Dentistry, Chiropractor,)

Professional Services (Financial Advisor, Insurance Agent, Banking)

EXHIBIT "A"
Legal Description

For APN/Parcel ID(s): 15-13-15-180-005 and

Tract 1:

Lot 24, in the Original Town of Middleton, now Mahomet, as per plat recorded in Deed Record "A" at page 91, in Champaign County, Illinois, except the following:

Beginning at the Southwest corner of said lot 24; thence North 0 degrees 26 minutes 47 seconds West along the West line of said Lot 24 for a distance 15.79 feet; thence South 21 degrees 25 minutes 47 seconds East for a distance of 16.96 feet to a point on the South line of said Lot 24; thence South 89 degrees 58 minutes 13 seconds West along said West line of Lot 24 for a distance 6.07 feet to the point of beginning.

For APN/Parcel ID(s): 15-13-15-180-006

Tract 2:

Lot 22, EXCEPT the East 4 feet of even width of the North 44 feet of said Lot, in the Original Town of Middleton, now Mahomet, as per plat recorded in Deed Record "A" at page 91, in Champaign County, Illinois.

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ALTA Commitment (06/17/2006)

Page 3

Printed: 07.26.16 @ 07:03 PM
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EXHIBIT B

Tract 1:

The North 44 feet of Lot 20 of even width (also known as the rear 1/3 of Lot 20) and that part of Lot 22 in the Original Town of Middleton, now Mahomet, as per plat recorded in Deed Record "A" at page 91, in Champaign County, Illinois, described as follows:

Beginning at the Northeast corner of Lot 22; thence Northwesterly 4 feet along the Northerly boundary line of Lot 22; thence Southerly and parallel to the Southeasterly boundary of Lot 22 a distance of 44 feet; thence Southeasterly and parallel to the Northerly boundary line of Lot 22, a distance of 4 feet to the Southeasterly boundary line of Lot 22; thence Northerly along said Southeasterly boundary line to the place of beginning.

Tract 2:

The North 55 feet of the South 121 feet of Lot 20 in the Original Town of Middleton, now Mahomet, as per plat recorded in Deed Record "A" at page 91, in Champaign County, Illinois.

Tract 3:

The South 66 feet of even width of Lot 20 in the Original Town of Middleton, now Mahomet, as per plat recorded in Deed Record "A" at page 91, in Champaign County, Illinois.

Commonly known as 606 E. Main, Mahomet, Illinois

PIN: 15-13-15-180-007; 15-13-15-180-008; 15-13-15-180-009

RESOLUTION FOR PLAN & ZONING COMMISSION

A Resolution Concerning a Conditional Use Permit for a "Shopping Center" at 602-606 E Main

WHEREAS, the Board of Trustees of the Village of Mahomet, pursuant to authority conferred by the statutes of the State of Illinois, has established certain standards and procedures for zoning establishment and amendment within the Corporate Limits of the Village of Mahomet; and,

WHEREAS, Jody Wesley as operator, and One East Main, LLC. as owner, of a tract of land described as set forth in the advertised public notice, has requested that a Conditional Use Permit be granted under the terms of the Village Zoning Ordinance to allow the establishment of a shopping center use at property commonly known as 602, 604, 606, 606 ¼, and 606 ½ E Main St. in the C-2 General Commercial Zoning District; and,

WHEREAS, the legal description of the property is as follows:

LOT 24, IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS, EXCEPT THE FOLLOWING: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 24; THENCE NORTH 0 DEGREES 26 MINUTES 47 WEST ALONG THE WEST LINE OF SAID LOT 24 FOR A DISTANCE 15.79 FEET; THENCE SOUTH 21 DEGREES 25 MINUTES 47 SECONDS EAST FOR A DISTANCE OF 16.96 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 24; THENCE SOUTH 89 DEGREES 58 MINUTES 13 SECONDS WEST ALONG SAID WEST LINE OF LOT 24 FOR A DISTANCE 6.07 FEET TO THE POINT OF BEGINNING.

AND

LOT 22, EXCEPT THE EAST 4 FEET OF EVEN WIDTH OF THE NORTH 44 FEET OF SAID LOT, IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS.

AND

THE SOUTH 66 FEET OF EVEN WIDTH OF LOT 20 IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS.

AND

THE NORTH 55 FEET OF THE SOUTH 121 FEET OF LOT 20 IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS.

AND

THE NORTH 44 OF LOT 20 OF EVEN WIDTH (ALSO KNOWN AS THE REAR 1/3 OF LOT 20) AND THAT PART OF LOT 22 IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED "A" AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 22; THENCE NORTHWESTERLY 4 FEET ALONG THE NORTHERLY BOUNDARY LINE OF LOT 22; THENCE SOUTHERLY AND PARALLEL TO THE SOUTHEASTERLY BOUNDARY OF LOT 22 A DISTANCE OF 44 FEET; THENCE SOUTHEASTERLY AND PARALLEL TO THE NORTHERLY BOUNDARY LINE OF LOT 22, A DISTANCE OF 4 FEET TO THE SOUTHEASTERLY BOUNDARY LINE OF LOT 22; THENCE NORTHERLY ALONG SAID SOUTHEASTERLY BOUNDARY LINE TO THE PLACE OF BEGINNING.

WHEREAS, the Village Planner, Village Administrator, Village Consulting Engineer, and Village Attorney have provided technical background information, review, and analysis regarding the requested conditional use; and,

WHEREAS, a Public Hearing concerning the requested Conditional Use Permit was held on October 4, 2016, and comment from the public was solicited; and,

WHEREAS, the Plan and Zoning Commission reviewed the evidence and testimony submitted and considered the factual evidence regarding the subject request.

BE IT THEREFORE RESOLVED this 4th day of October, 2016, by the Plan and Zoning Commission of the Village of Mahomet, that:

1. The Plan and Zoning Commission does hereby recommend that the Village of Mahomet **GRANT / DENY** the requested Conditional Use Permit for establishment of a shopping center use at subject property.
2. The Plan and Zoning Commission does further hereby recommend that the conditional use be subject to the following conditions:

1. GENERAL

- a. Submittal of a complete site plan and approval prior to building permit application
- b. Zoning Lot is created for 602, 04, 606, 606 ½, and 606 ¼ E Main prior to building permit application
- c. A subdivision is completed to assembly the lots into one lot and absorb any vacated alleyway.
- d. Ownership of land or easements are obtained to assure full functioning of the site plan as attached subject to minor technical modifications prior to occupancy.
- e. A performance bond and surety be provided for public improvements and the private stormwater detention basin as a part of the building permit application.
- f. _____
- g. _____

2. FEATURES:

- a. Window: The pickup window shown on the east side of the building is limited to pick up service only and no orders can be taken from the window. No drive-through or drive-up function is permitted
- b. A separation be constructed in some manner or width between the pick-up window lane and the alley.
- c. The dumpster will be positioned in the general location shown for commercial pickup service and be enclosed or as approved by the Village.
- d. _____

3. SIGNAGE:

- a. Be consistent with the attached site plan and subject to Village permit and approval
- b. No freestanding signs are permitted excluding directionals as deemed necessary by the Village for proper site circulation.
- c. No signage shall have animation ability. All are static.
- d. _____

4. ON SITE PARKING:

- a. Unreserved parking spaces in the lot are for customer only use during the day and marked as such.
- b. Parallel spaces in the rear of the building will be open to customers and marked as necessary.
- c. No more than three (3) spaces are "reserved" or otherwise limited to normal patron parking availability.
- d. No leasing to entities not operating on the property is permitted.
- e. _____

5. OFF SITE PARKING:

- a. Documents are recorded securing easements for the parking lot facility on the properties as shown on the site plan at 605 and 607 E Franklin prior to occupancy.
- b. Should parking be shared by entities operating within the block bounded by Main, Lombard, Jefferson and Franklin Streets in some formal way, the parking requirements for the off-site lot can be removed with Village approval.
- c. The overflow parking be constructed and maintained of a dustfree surface and spaces marked clearly.
- d. All parking spaces must be available to patrons of this development.
- e. _____

6. STORMWATER DETENTION:

- a. The basin complies with ordinances. The design for such as attached is constructed subject to minor modifications to achieve compliance.
- b. An easement is recorded to secure a stormwater detention function offsite within 250 feet of the property.
- c. Grading and detention are completed prior to an occupancy permit.
- d. The stormwater detention basin can be modified to accept runoff from area sites provided it continues to comply with ordinances.
- e. _____

7. EASEMENTS:

- a. Legal documents are recorded to assure that the parking lot remains as proposed on the site plan unless other parking is provided on-site or within the ordinance requirement of 250 feet of the property boundary and if the property currently indicated as "alley" is vacated, proper easements will be recorded to allow proposed surfacing and use.

- b. The utility easement is maintained within the alleys and any requests by utilities necessary to provide service beyond the property will be accommodated, and funded if necessary, by the owner.
- c. _____

8. ROADWAY AND CIRCULATION DRIVEWAY IMPROVEMENTS:

- a. Jefferson St. ROW and pavement is constructed as shown on the plan sheet (attached) prior to occupancy.
- b. "Alley"/ circulation drives will accommodate two-way traffic
- c. The southern driveway exit onto Jefferson is constructed with a negative radius at the southern curb to prevent left turns - a modification of the attached site plan.
- d. Both "alleys" are constructed as presented and will accommodate two-way traffic. The travel lane of the northern "alley" will be a minimum of 16 feet wide. The travel lane of the eastern "alley" will be a minimum of 16 feet wide of continuous pavement. Some width may be located off-site if proper easement documents are recorded.
- e. The southern 18 feet of the travel lane between this development and 608 E Main St. as a distance from the sidewalk edge will be a minimum of 20 feet wide with a corresponding compliant approach.
- f. _____

9. LIGHTING:

- a. A site lighting plan conforming to code is submitted to the Village for approval prior to installation.
- b. Street lighting is reinstalled as requested by the Village
- c. _____

10. PAVEMENT MARKING AND CIRCULATION SIGNAGE--

- a. pavement marking and signage related to circulation will be installed and maintained as required by the Village.
- b. _____

11. COMPLIANCE WITH OTHER ORDINANCES:

- a. Compliance with the Building Permit requirements of the Village
- b. Approval of the site and building plan by Cornbelt Fire Protection District making all requested changes.
- c. Tree ordinance compliance
- d. No outside storage or display of inventory
- e. No vehicles with "signage" parked in the front of the building beyond standard patron lengths of time
- f. Building setback along Jefferson can be reduced to ____ if determined necessary by the Village.

g. _____

12. USES: That the shopping center is limited to the following uses in any combination therein:

PERMISSIVE USES

1. Dressmaking, tailoring, shoe repairing, donut/bakery shop and other uses of similar character
2. Office or office building
3. Personal service uses including barber shop, beauty parlor, photographic or art studio, messenger, newspaper, laundry or dry cleaning pickup
4. General merchandise retail store, in connection with there will be no slaughtering of animals or poultry, nor commercial fish cleaning and processing on the premises
5. Restaurants, cafeterias, bars and taverns, not including drive-through or quick service establishments
6. Restaurant with pick-up only window
7. Convenience store
8. Video rental store
9. Property rental and real estate agency
10. Computer and personal electronics sales or repair
11. Private indoor recreational or fitness facility
12. Specialty retail store such as apparel, jewelry, book, shoe, stationary, antique and other similar stores.
13. Medical, chiropractic or dental clinic
14. Pet grooming
15. Any combination of any permissive uses
16. _____
17. _____

CONDITIONAL USES

1. Residence
2. Day Care Center
3. Dance or Music Academy
4. Gymnastics academy
5. _____

3. The Plan and Zoning Commission does hereby confirm the following findings of fact regarding the requested Conditional Use Permit:

a. *The establishment, maintenance, or operation of the Conditional Use **WILL / WILL NOT** be detrimental to or endanger the public health, safety, morals, comfort or general welfare;*

- b. *The conditional use **WILL / WILL NOT** be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted nor substantially diminish and impair property values within the neighborhood;*
- c. *The establishment of the conditional use **WILL / WILL NOT** impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;*
- d. *Adequate utilities, access roads, drainage, and/or other necessary facilities **WILL / WILL NOT** be provided;*
- e. *The conditional use **DOES / DOES NOT** in all other respects conform to the applicable regulations of the district in which it is located;*
- f. *There **IS / IS NOT** a public necessity for the conditional use at this site;*
- g. *The proposed conditional use **DOES / DOES NOT** conform with the intent of the Village Comprehensive Plan.*
- h. *The proposed conditional use **WILL / WILL NOT** be compatible with the established land use pattern in the vicinity.*
- i. *The site **IS / IS NOT** suitable for the proposed conditional use.*
- j. *The proposed conditional use **WILL / WILL NOT** significantly adversely impact existing traffic patterns.*
- k. *Adequate facilities for municipal water supply and wastewater disposal **ARE / ARE NOT** available for the site.*
- l. *Adequate provisions for stormwater drainage **ARE / ARE NOT** available for the site.*
- m. *The proposed conditional use **WILL / WILL NOT** adversely impact police protection, fire protection, schools, or public facilities.*
- n. *The proposed conditional use **WILL / WILL NOT** conflict with existing public commitments for planned public improvements.*
- o. *The proposed conditional use **WILL / WILL NOT** preserve the essential character of the neighborhood in which it is located.*
- p. *The proposed conditional use **WILL / WILL NOT** alter the population density pattern and **WILL / WILL NOT** adversely impact public facilities.*

q. *The proposed conditional use **WILL / WILL NOT** result in private investment that will be beneficial to the proper development of the community.*

r. _____

4. The approval recommended above shall be subject to the fulfillment of the conditions set forth in Item 2 above. In the event that these conditions are not fulfilled, the Conditional Use Permit may become void and no occupancy permit for the project may be issued, or the occupancy permit previously issued may be revoked.

Chair, Plan and Zoning Commission
Village of Mahomet

INDEX OF CIVIL SHEETS

- C1 OVERALL SITE PLAN
- C2 SITE LAYOUT PLAN - SOUTH
- C3 SITE LAYOUT PLAN - NORTH
- C4 GRADING PLAN - SOUTH
- C5 GRADING PLAN - NORTH
- C6 UTILITY PLAN
- C7 NOTES AND SECTIONS
- C8-C9 DETAILS



PAVEMENT LEGEND

- P.C. CONCRETE PAVEMENT, 6" THICK
- P.C. CONCRETE SIDEWALK, 6" THICK
- BITUMINOUS SURFACE TREATMENT, CLASS A-2 AGGREGATE SURFACE COURSE, TYPE A, 8" THICK
- ADA TRUNCATED DOME PANELS

GENERAL NOTES:

1. LEGAL DESCRIPTION:

TRACT 1
 LOT 24, IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD 'A' AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS, EXCEPT THE FOLLOWING: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 24; THENCE NORTH 0 DEGREES 26 MINUTES 47 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 24 FOR A DISTANCE 15.79 FEET; THENCE SOUTH 21 DEGREES 25 MINUTES 47 SECONDS EAST FOR A DISTANCE OF 16.96 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 24; THENCE SOUTH 89 DEGREES 58 MINUTES 13 SECONDS WEST ALONG SAID WEST LINE OF LOT 24 FOR A DISTANCE 6.07 FEET TO THE POINT OF BEGINNING;

TRACT 2
 LOT 22, EXCEPT THE EAST 4 FEET OF EVEN WIDTH OF THE NORTH 44 FEET OF SAID LOT, IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED RECORD 'A' AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS.

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 THE NORTH 44 OF LOT 20 OF EVEN WIDTH (ALSO KNOWN AS THE REAR 1/3 OF LOT 20) AND THAT PART OF LOT 22 IN THE ORIGINAL TOWN OF MIDDLETOWN, NOW MAHOMET, AS PER PLAT RECORDED IN DEED 'A' AT PAGE 91, IN CHAMPAIGN COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:
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TRACT 6
 LOTS 8 AND 9 AND VACATED ALLEY LYING BETWEEN LOTS 8 AND 9 IN C.C. HAWES ADDITION TO THE TOWN OF MIDDLETOWN, NOW MAHOMET AS PER PLAT RECORDED IN DEED RECORD 'P' AT PAGE 404, IN CHAMPAIGN COUNTY, ILLINOIS.

2. BENCHMARK: CHISELED SQUARE ON THE SOUTHWESTERN CORNER OF THE CONCRETE FLAG POLE BASE, 18.6 FEET SOUTH OF THE SOUTHWESTERN CORNER OF THE CORNBELT FIRE PROTECTION DISTRICT STATION AND 25.0 FEET NORTH OF THE CENTERLINE OF MAIN STREET. ELEV. = 720.33.

3. ALL BEARINGS ARE OF THE EASTERLY LINE OF LOT 102 OF CORNBELT REPLAT.

4. CURRENT ZONING FOR ALL TRACTS IS C-2 - GENERAL COMMERCIAL DISTRICT.

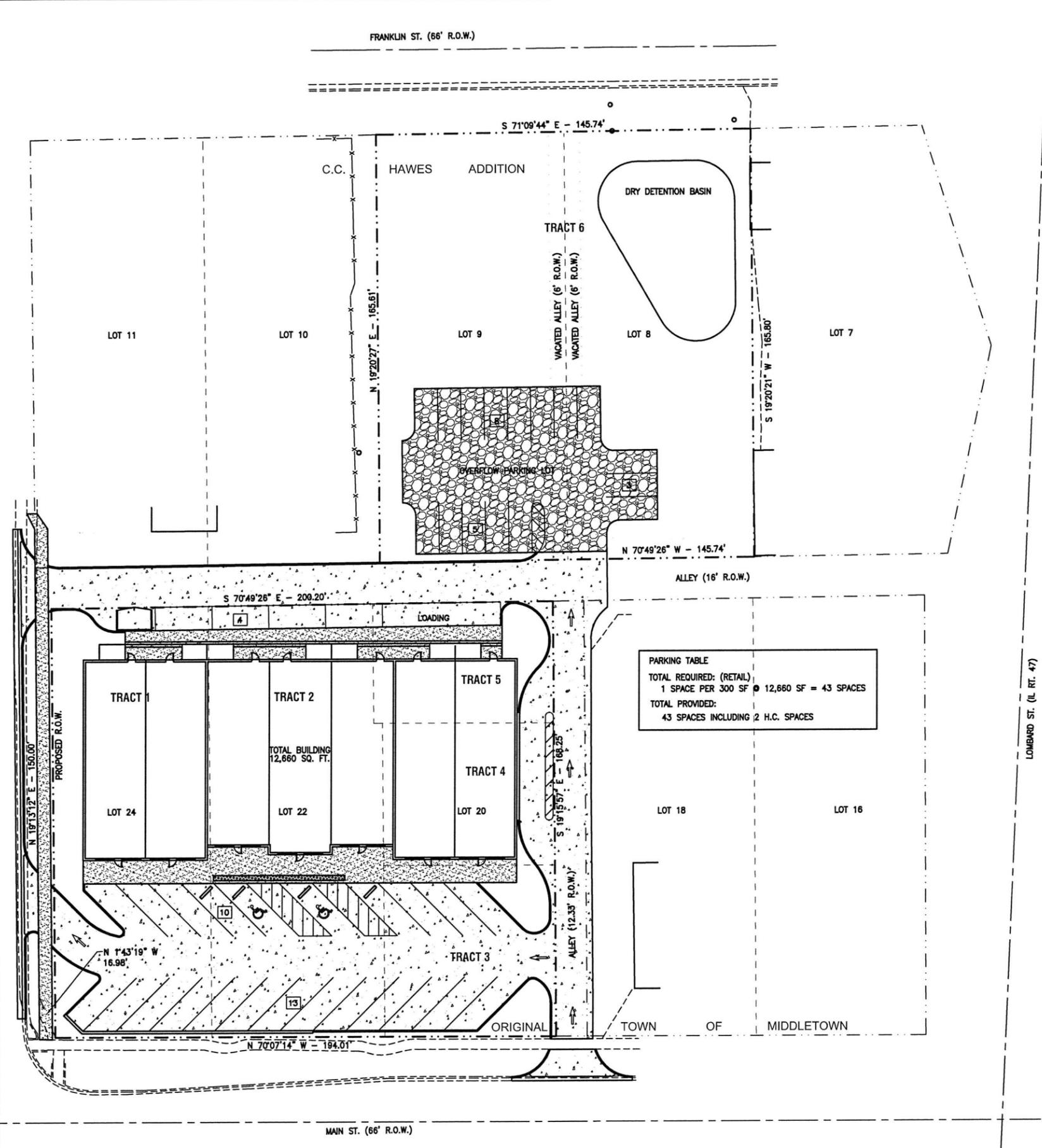
5. NO INDEPENDENT REVIEW OF EASEMENTS WAS PERFORMED.



BK
 BRYAN K. BRADSHAW
 ILLINOIS PROFESSIONAL
 ENGINEER NO. 52891

DATE: SEPTEMBER 26, 2016

JEFFERSON ST. (33' R.O.W.)

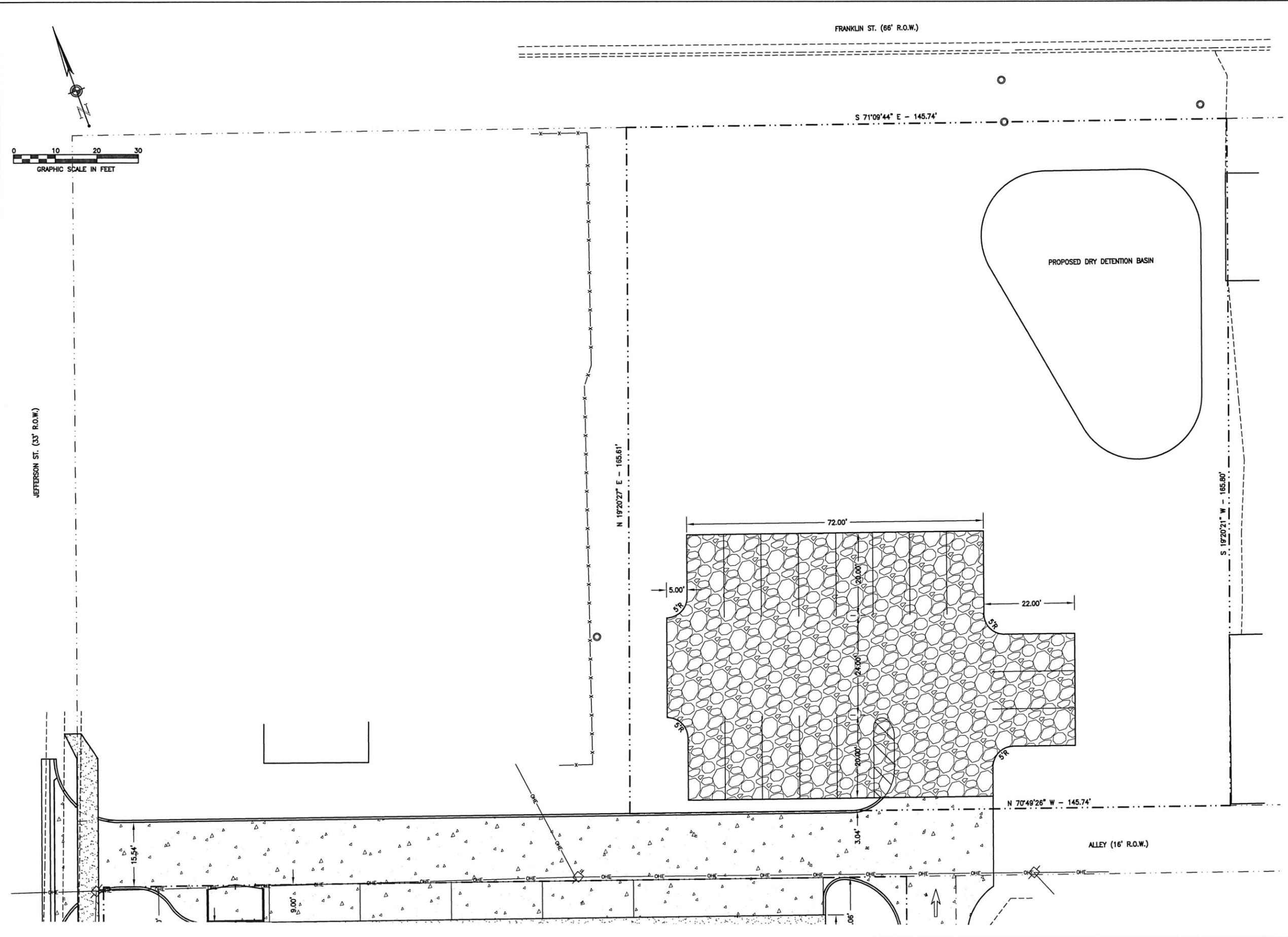


REVISIONS	
NO.	DESCRIPTION

B K B
 ENGINEERING
 301 N. NEL STREET, SUITE 400 | CHAMPAIGN, IL 61820
 CELL: 217.840.3546 | OFFICE: 217.531.2971 | FAX: 217.531.2211

OVERALL SITE PLAN
 NEW RETAIL BUILDING
 602 E. MAIN ST.
 MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET: C1

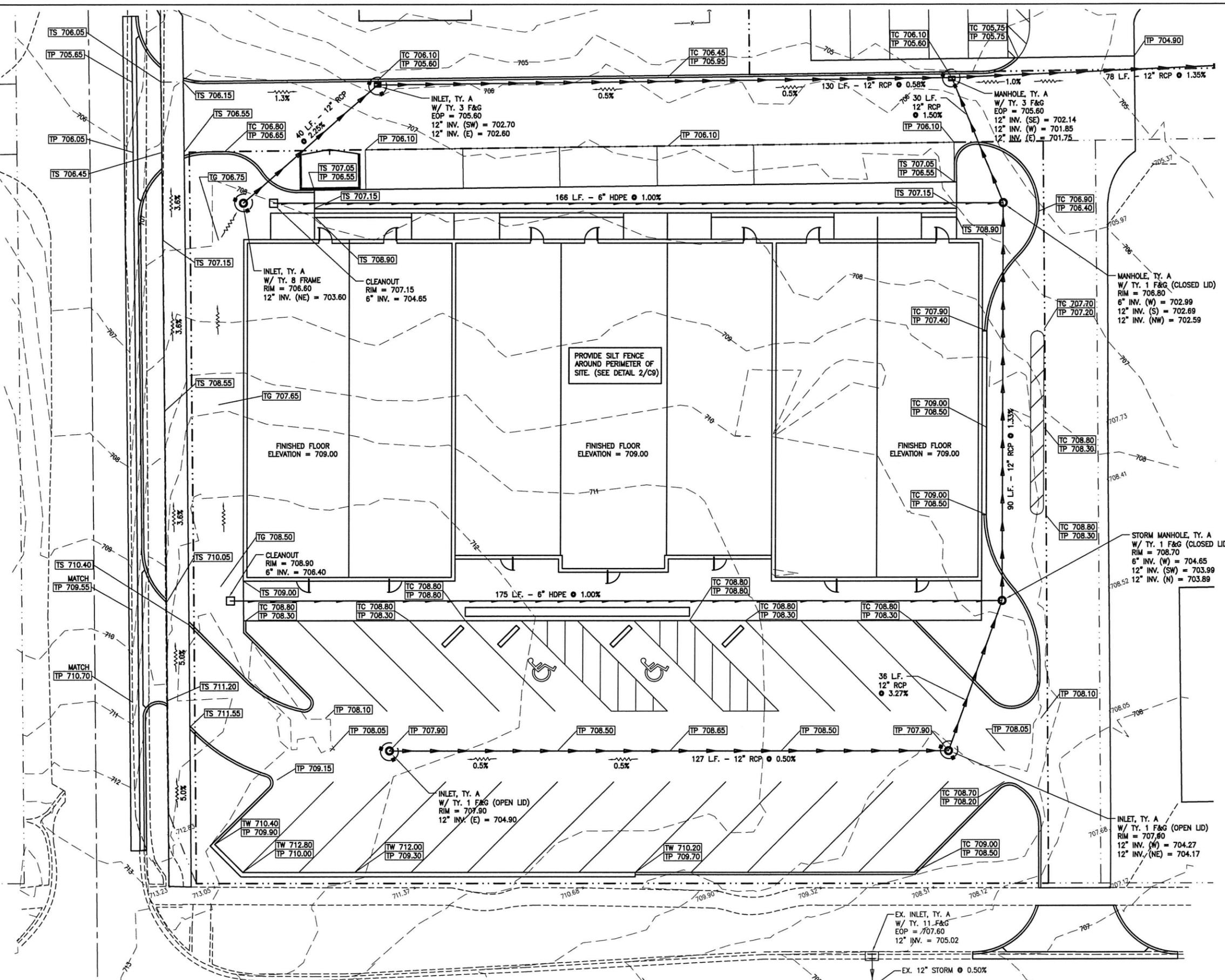
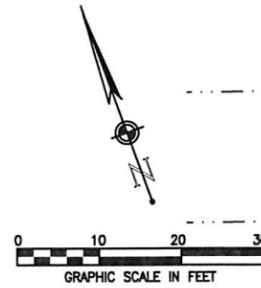


REVISIONS	
NO.	DATE

B K B
 ENGINEERING
 301 N. NEL STREET, SUITE 400 | CHAMPAIGN, IL 61820
 CELL: 217.840.3546 | OFFICE 217.531.2971 | FAX 217.531.2211

SITE LAYOUT PLAN - NORTH
 NEW RETAIL BUILDING
 602 E. MAIN ST.
 MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET: C3



REVISIONS	
NO.	DESCRIPTION

BKB
ENGINEERING

301 N. NELL STREET, SUITE 400 | CHAMPAIGN, IL 61820
CELL: 217.840.3546 | OFFICE: 217.531.2971 | FAX: 217.531.2211

GRADING PLAN - SOUTH

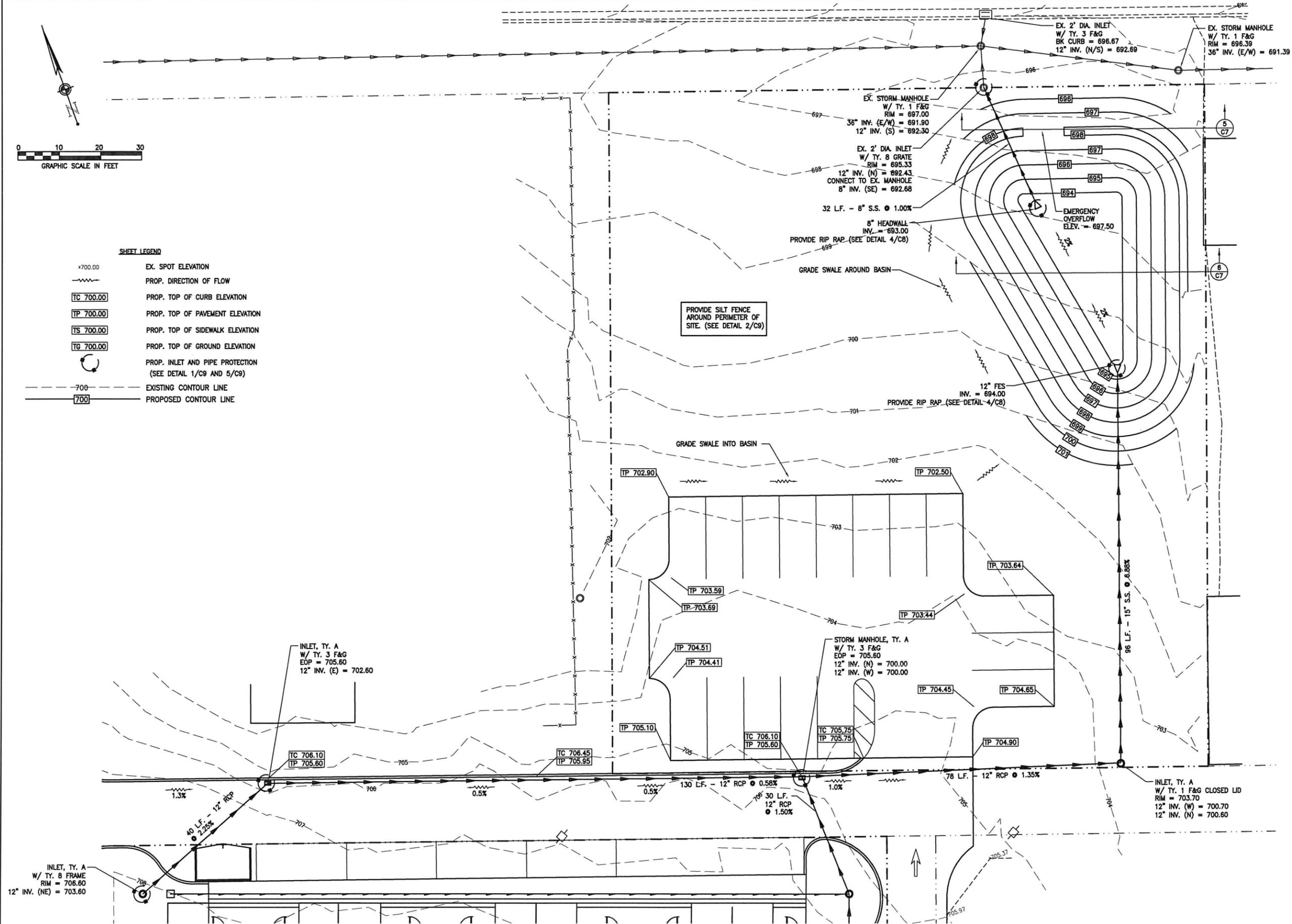
NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET:
C4



SHEET LEGEND

- 700.00 EX. SPOT ELEVATION
- ~ PROP. DIRECTION OF FLOW
- TC 700.00 PROP. TOP OF CURB ELEVATION
- TP 700.00 PROP. TOP OF PAVEMENT ELEVATION
- TS 700.00 PROP. TOP OF SIDEWALK ELEVATION
- TG 700.00 PROP. TOP OF GROUND ELEVATION
- PROP. INLET AND PIPE PROTECTION (SEE DETAIL 1/C9 AND 5/C9)
- - - 700 - - - EXISTING CONTOUR LINE
- 700 - - - PROPOSED CONTOUR LINE



NO.	DATE	DESCRIPTION

BKB
ENGINEERING

301 N. NEL STREET, SUITE 400 | CHAMPAIGN, IL 61820
CELL: 217.840.3546 | OFFICE: 217.531.2971 | FAX: 217.531.2211

GRADING PLAN - NORTH

NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET: C5

GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS: STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS (IDOT STANDARD SPECIFICATIONS), VILLAGE OF MAHOMET ILLINOIS ORDINANCES AND STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR SAFETY ON THE JOB SITE, NOR SHALL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. NEITHER THE PROFESSIONAL ACTIVITIES OF THE ENGINEER NOR THE PRESENCE OF THE ENGINEER AT A CONSTRUCTION SITE SHALL RELIEVE THE CONTRACTOR OF THEIR OBLIGATIONS, DUTIES, AND RESPONSIBILITIES INCLUDING ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES.
- CONTACT JULIE FOR UTILITY LOCATIONS BEFORE PERFORMING ANY EXCAVATIONS WITHIN RIGHT-OF-WAY OR EASEMENTS (1-800-892-0123).
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS SHOWN ON THE PLANS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONS OR LOCATIONS THAT DEVIATE FROM THE PLANS.
- WHENEVER CONSTRUCTION OPERATIONS ENCRUCH ON THE VILLAGE RIGHT-OF-WAY, TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND STATE STANDARDS TO THE SATISFACTION OF THE VILLAGE OF MAHOMET.
- NO MATERIALS OR EQUIPMENT SHALL BE STORED OR STOCKPILED WITHIN PUBLIC RIGHT-OF-WAY OR ON ADJACENT LOTS.
- ALL FIELD TILES, DRAINS AND UTILITIES CUT DURING CONSTRUCTION SHALL BE REPLACED OR REROUTED IN THE DIRECTION OF THE ENGINEER OR THE VILLAGE OF MAHOMET. ALL DRAINAGE FACILITIES WHICH ARE BROKEN OR DAMAGED DURING CONSTRUCTION SHALL BE RESTORED AS NEARLY AS POSSIBLE TO THEIR ORIGINAL STATE BY THE CONTRACTOR, EXCEPT THAT ALL FIELD TILES SHALL BE CONNECTED TO THE STORM SEWER SYSTEM WHERE NECESSARY FOR PROTECTION OF IMPROVEMENTS OR PREVENTION OF UPSTREAM FLOOD DAMAGE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE ENGINEER OF ALL SEVERED LINES AND TO REPLACE OR REROUTE PROMPTLY AT NO ADDED COST TO THE OWNER.
- ANY EXISTING IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION.

PAVING CONSTRUCTION NOTES:

- PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS, THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" IN ILLINOIS, LATEST EDITION AND VILLAGE OF MAHOMET ORDINANCES.
- PARKING LOT PAVEMENT SHALL BE PORTLAND CEMENT CONCRETE PAVEMENT, CLASS PV, 6" THICK.
- PAVEMENT SHALL BE SAWED WITH CONTRACTION JOINTS AT A MAXIMUM OF 12 FOOT INTERVALS.
- LONGITUDINAL CONTRACTION JOINTS SHALL BE TIED WITH #4 EPOXY COATED DEFORMED TIE BARS, 30-INCH LONG AT 30-INCH INTERVALS. ALL JOINT PATTERNS ARE TO BE APPROVED BY THE OWNER.
- SAWING OF JOINTS SHALL COMMENCE AS SOON AS THE CONCRETE HAS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE REVELLING, BUT NO LATER THAN TEN (10) HOURS AFTER THE CONCRETE HAS BEEN PLACED. ALL JOINTS SHALL BE SAWED TO THE FULL DEPTH AS SHOWN IN THE DETAILS, BEFORE UNCONTROLLED SHRINKAGE CRACKING TAKES PLACE.
- JOINT SEALER SHALL BE PROVIDED AT ALL PAVEMENT JOINTS. JOINT SEALER SHALL BE POLYURETHANE SELF-LEVELING SEALER. COLOR TO MATCH NEW CONCRETE.
- PARKING LOT PAVEMENT SHALL BE BITUMINOUS SURFACE TREATMENT, CLASS A-2, IN ACCORDANCE WITH SECTION 403 OF THE IDOT STANDARD SPECIFICATION. THE WORK SHALL CONSIST OF A PRIME COAT, A BITUMINOUS COVER COAT MATERIAL AND A COVER COAT AGGREGATE, AND A BITUMINOUS SEAL COAT MATERIAL AND SEAL COAT AGGREGATE. THE BITUMINOUS MATERIAL, AS SPECIFIED FOR PRIME COAT, SHALL BE APPLIED UNIFORMLY AT THE RATE OF 0.30 GAL/SQ YD. THE BITUMINOUS MATERIAL, AS SPECIFIED FOR COVER COAT IN ARTICLE 403.02, SHALL BE APPLIED UNIFORMLY OVER THE SURFACE AT THE RATE OF 0.35 GAL/SQ YD. IMMEDIATELY FOLLOWING THE APPLICATION OF THE BITUMINOUS MATERIAL, THE COVER COAT AGGREGATE SHALL BE SPREAD OVER THE TREATED SURFACE AT THE RATE OF 20 LB/SQ YD.
- THE SUBGRADE SHALL BE PREPARED SO THAT AFTER COMPACTION IT WILL CONFORM TO THE ALIGNMENT, GRADE AND CROSS-SECTION SHOWN ON THE PLANS. SOFT AND UNSTABLE MATERIAL THAT WILL NOT COMPACT SHALL BE REMOVED AND REPLACED. THE ENTIRE SUBGRADE SHALL BE COMPACTED TO NOT LESS THAN NINETY-FIVE PERCENT (95%) OF THE STANDARD LABORATORY DENSITY. TOPSOIL MATERIALS SHALL NOT BE UTILIZED FOR SUBGRADES.
- PCC SIDEWALK SHALL BE 6" THICK UNLESS OTHERWISE NOTED. CROSS SLOPES SHALL BE 1/4" PER FOOT. SCORE JOINTS ARE TO BE HAND TOOLED AT 1/2" NOMINAL DEPTH AND AT 5'-0" ON CENTER.

EROSION CONTROL NOTES:

- INSTALL SILT FILTER FABRIC AND INLET PROTECTION AS NOTED ON THE PLANS. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND ANY NOTED DEFICIENCIES SHALL BE REPAIRED IMMEDIATELY. EROSION CONTROL MEASURES SHALL ALSO BE INSPECTED AFTER ANY SIGNIFICANT RAIN EVENT (1/2 INCH ACCUMULATION WITHIN A 24 HOUR PERIOD) AND NOTED DEFICIENCIES REPAIRED IMMEDIATELY.
- SEEDING SHALL TAKE PLACE AS SOON AS FINISH GRADING OPERATIONS ARE COMPLETE, UNLESS DIRECTED OTHERWISE BY THE ENGINEER. ALL STRIPPED AREAS NOT ANTICIPATED TO HAVE CONSTRUCTION TAKE PLACE WITHIN 30 DAYS SHALL BE SEEDDED IMMEDIATELY, WEATHER AND SOIL CONDITIONS PERMITTING.
- ALL DISTURBED AREAS SHALL BE SEEDDED WITH CLASS 1B SEED MIXTURE OR EQUAL IN ACCORDANCE WITH SECTION 250 OF THE IDOT STANDARD SPECIFICATIONS. STRAW MULCH SHALL BE APPLIED TO ALL SEEDDED AREAS ACCORDING TO METHOD 2, PROCEDURE 2 OF ARTICLE 251.03 OF THE IDOT STANDARD SPECIFICATIONS. MULCH METHOD 2, PROCEDURE 2 SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS ON ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); EMBANKMENTS OF PONDS, BASINS, AND TRAPS; AND WITHIN FOURTEEN (14) DAYS ON ALL OTHER DISTURBED OR GRADED AREAS. THE REQUIREMENTS OF THIS SECTION DO NOT APPLY TO THOSE AREAS WHICH ARE SHOWN ON THE PLAN AND ARE CURRENTLY BEING USED FOR MATERIAL STORAGE OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED.

GRADING NOTES:

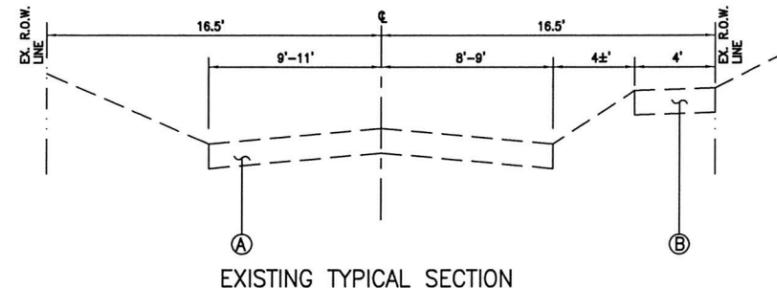
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING INCLUDING EXCAVATION, EMBANKMENT AND BACKFILLING AS NECESSARY TO CONSTRUCT ALL PAVEMENT TO THE ELEVATIONS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING STORM OR SANITARY MANHOLES OR OTHER EXISTING UTILITIES DURING GRADING.
- ALL TRENCHING OPERATIONS WITHIN A PREPARED SUBGRADE SHALL BE BACKFILLED IN SUCH A MANNER THAT THE SUBGRADE WILL REMAIN IN THE CONDITION EXISTING BEFORE CONSTRUCTION OPERATIONS BEGAN. THE CONTRACTOR WILL BE HELD LIABLE FOR THE COST OF ANY GRADING OPERATIONS NECESSARY TO CORRECT FAULTY BACKFILLING OR CLEANUP PROCEDURES.
- EXISTING VEGETATION AND TOPSOIL SHALL BE REMOVED AND STOCKPILED AS DIRECTED BY THE OWNER'S REPRESENTATIVE. REMOVAL SHALL BE TO A DEPTH AS NEEDED TO REMOVE ALL ORGANIC MATERIAL.
- SUBGRADE WITHIN THE PROPOSED PAVEMENT AND BUILDING SITE AREAS SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE STANDARD LABORATORY DENSITY IN ACCORDANCE WITH SECTION 205 OF THE STANDARD SPECIFICATIONS.
- LANDSCAPED AREAS SHALL RECEIVE A MINIMUM OF 6 INCHES OF TOPSOIL IN EMBANKMENT AREAS. EXCAVATION AREAS SHALL BE UNDERCUT 6 INCHES IN LANDSCAPED AREAS TO ACCOMMODATE 6 INCHES OF TOPSOIL TO FINISH GRADE. AREAS SURROUNDING PROPOSED TREES SHALL RECEIVE A MINIMUM OF 24 INCHES OF TOPSOIL.

UTILITY CONSTRUCTION NOTES:

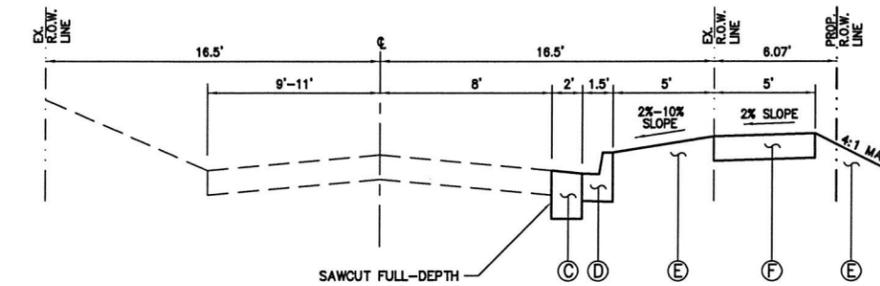
- CONTRACTOR SHALL VERIFY THE LOCATION AT BUILDING OF ALL PROPOSED UTILITIES WITH THE BUILDING PLANS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF ALL EXISTING UTILITIES BEFORE BEGINNING CONSTRUCTION OR ORDERING STORM SEWER STRUCTURES.
- CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- ALL TRENCHING OPERATIONS BENEATH PROPOSED PAVEMENT CURB AND GUTTER OR SIDEWALK OR WITHIN 2' THEREOF SHALL BE BACKFILLED WITH TRENCH BACKFILL.
- CONTRACTOR SHALL CONDUCT AN EXPLORATORY EXCAVATION TO DETERMINE POTENTIAL CONFLICTS BETWEEN EXISTING UNDERGROUND UTILITIES AND THE PROPOSED STORM SEWER / SANITARY SEWER / WATER SERVICE. THE EXCAVATION SHALL BE PERFORMED PRIOR TO ANY UTILITY WORK AT THE BUILDING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY VERTICAL OR HORIZONTAL CONFLICTS.
- ALL STORM SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION, ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. STORM SEWER 12-INCH DIAMETER AND GREATER SHALL BE REINFORCED CONCRETE PIPE AND STORM SEWER 10-INCH DIAMETER AND SMALLER SHALL BE PVC.
- ALL WATER SERVICE MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH VILLAGE OF MAHOMET REQUIREMENTS. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH THE VILLAGE.
- ALL WATER SERVICES SHALL BE SEPARATED FROM DRAINS, SANITARY AND STORM SEWERS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND DETAIL 8/C6.

TYPICAL SECTION KEY

- (A) EX. OIL & CHIP PAVEMENT (THICKNESS UNKNOWN)
- (B) EX. CONCRETE SIDEWALK
- (C) PORTLAND CEMENT CONCRETE WIDENING, 10" THICK
- (D) COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12
- (E) FURNISH & PLACE TOPSOIL, 6" THICK
- (F) PORTLAND CEMENT CONCRETE SIDEWALK, 6" THICK

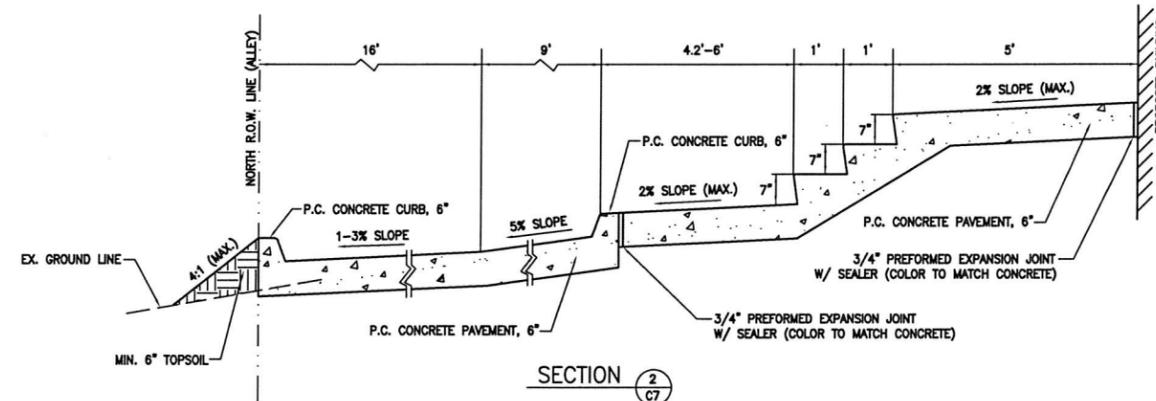


EXISTING TYPICAL SECTION

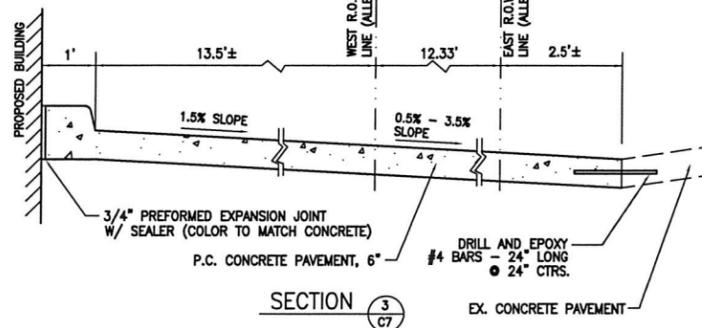


PROPOSED TYPICAL SECTION

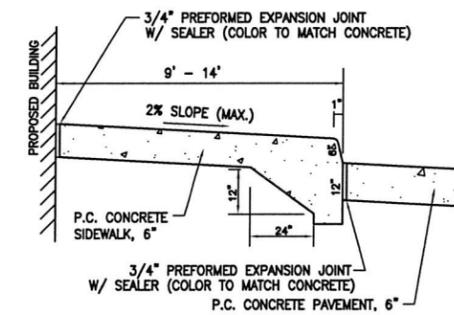
SECTION 1 JEFFERSON STREET



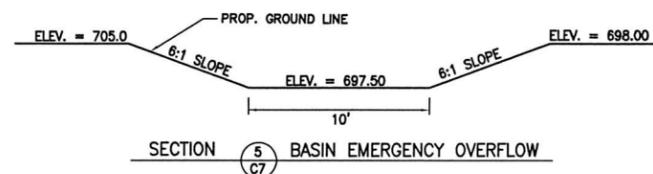
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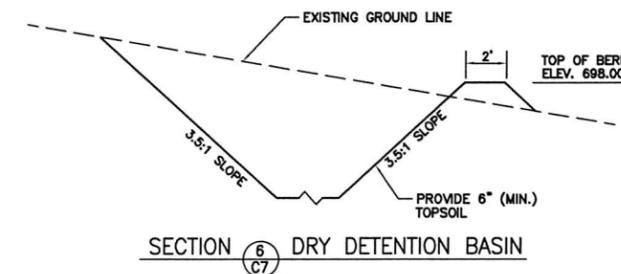
SECTION 3



SECTION 4



SECTION 5 BASIN EMERGENCY OVERFLOW



SECTION 6 DRY DETENTION BASIN

NO.	DATE	DESCRIPTION

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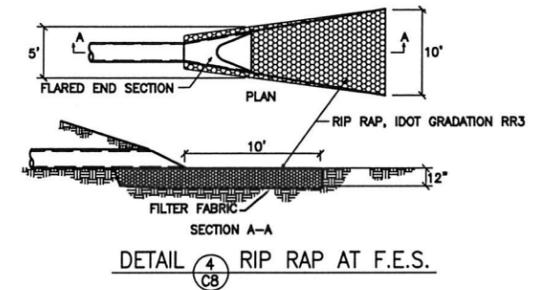
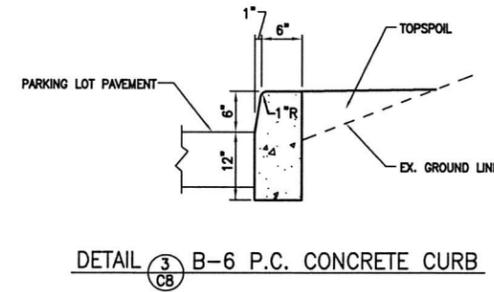
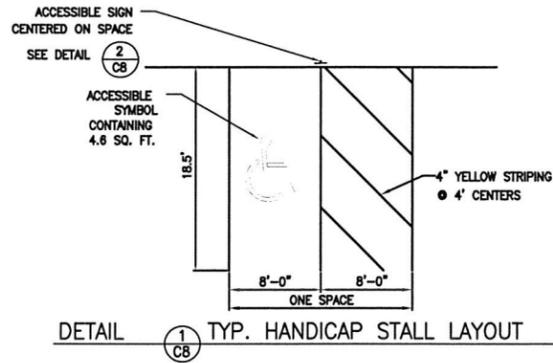
301 N. NIEL STREET, SUITE 400 | CHAMPAIGN, IL 61820
CELL: 217.840.3546 | OFFICE: 217.531.2971 | FAX: 217.531.2211

NOTES AND SECTIONS

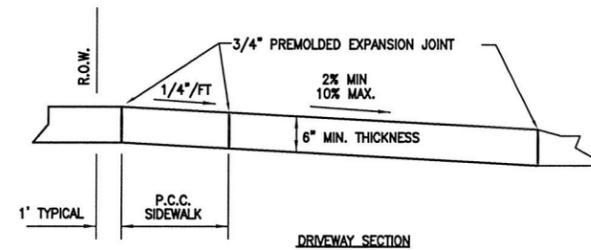
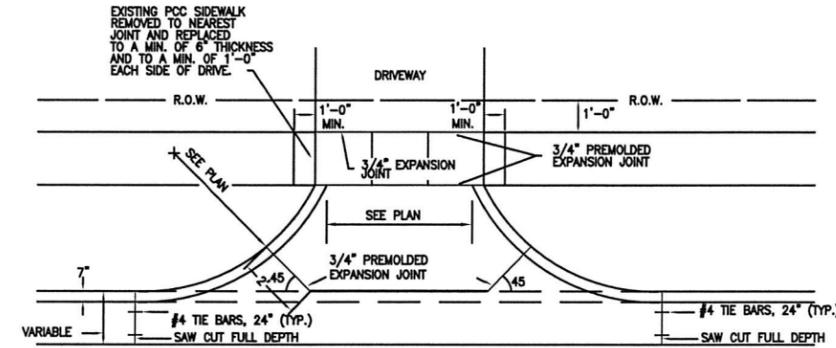
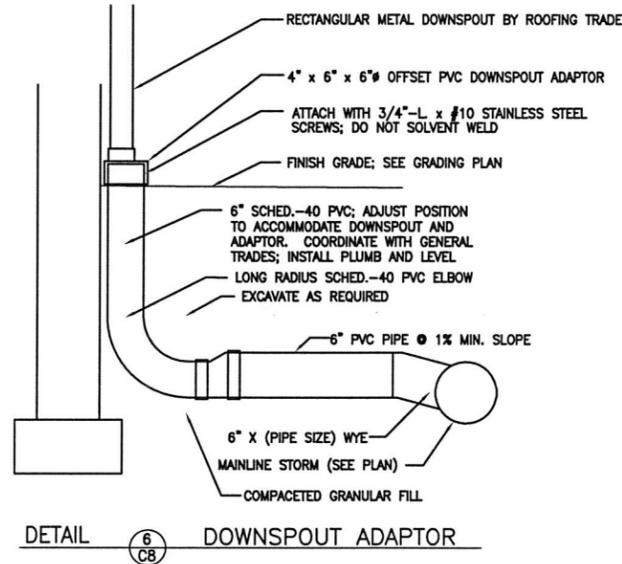
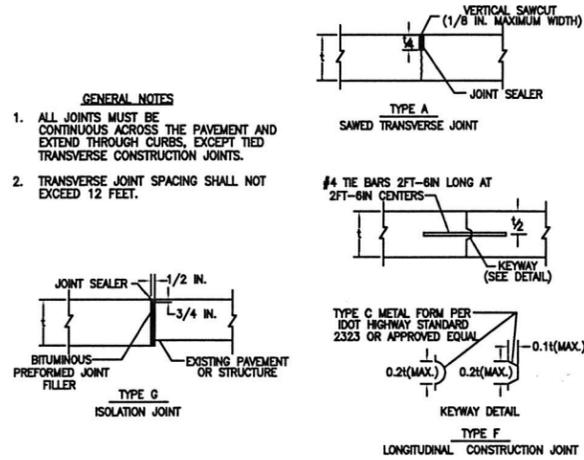
NEW RETAIL BUILDING
602 E. MAIN ST.
MAHOMET, ILLINOIS

PROJECT: 13-1601
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 8/20/16
SHEET: C7

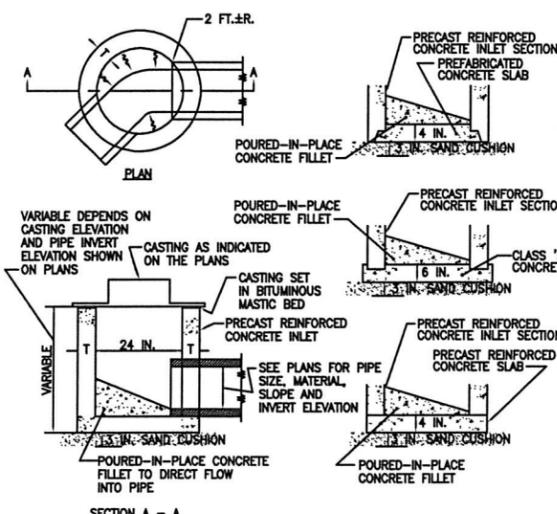
- PAVEMENT MARKINGS SHALL CONFORM TO SECTION T-502 OF THE STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS.
- ALL PARKING STRIPING SHALL BE YELLOW.
- ACCESSIBLE SYMBOLS SHALL BE LARGE SIZE CONTAINING 4.6 SQ. FT. OF AREA EACH.
- REFER TO PAVING PLAN FOR PLACEMENT OF ACCESSIBLE SIGNAGE. SIGNS SHALL BE CENTERED ON EACH 18' SPACE.
- ACCESSIBLE SIGNS SHALL CONSIST OF ILLINOIS STANDARD SIGNS: R7-8 "ACCESSIBILITY SYMBOL" R7-1101 "\$250 FINE"
- SLOPE OF ACCESSIBLE SPACES SHALL NOT EXCEED 2.00% IN ANY DIRECTION.



- GENERAL NOTES**
- ALL JOINTS MUST BE CONTINUOUS ACROSS THE PAVEMENT AND EXTEND THROUGH CURBS, EXCEPT TIED TRANSVERSE CONSTRUCTION JOINTS.
 - TRANSVERSE JOINT SPACING SHALL NOT EXCEED 12 FEET.

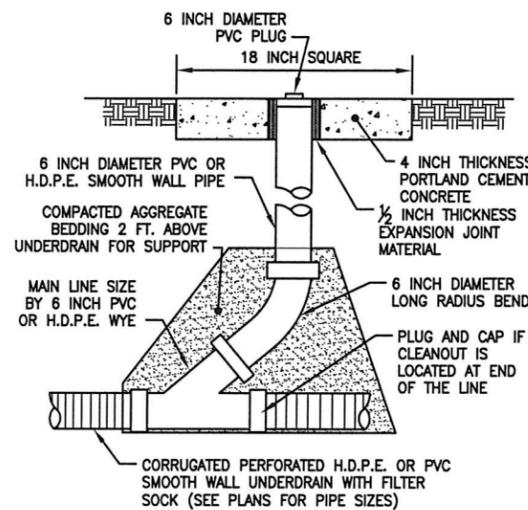


DETAIL 7 CB DRIVEWAY ENTRANCE

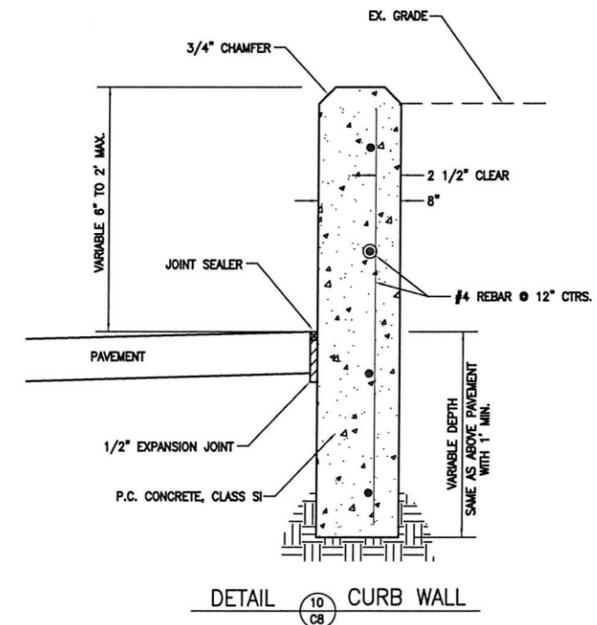


ALTERNATIVE MATERIALS FOR WALLS	T
PRECAST REINFORCED CONCRETE SECTIONS	3 IN.
CONCRETE MASONRY UNITS	5 IN.
CAST-IN-PLACE CONCRETE	6 IN.

- NOTES:**
- ONLY PRECAST REINFORCED CONCRETE SECTIONS SHALL BE USED UNLESS PRIOR APPROVAL IS OBTAINED FROM THE VILLAGE ENGINEER.
 - THE OUTSIDE OF INLETS CONSTRUCTED OF CONCRETE MASONRY UNITS SHALL BE SEALED WITH A BITUMINOUS WATERPROOF MATERIAL.
 - INLETS SHALL COMPLY WITH THE APPLICABLE PORTIONS OF I.D.O.T. STANDARD 602301, LATEST EDITION AND THE APPLICABLE PROVISIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS.
- FRAMES AND LIDS**
- FRAMES AND LIDS SHALL CONFORM TO THE FOLLOWING NEENAH CATALOG NUMBERS OR APPROVED EQUAL:
- R3502B FOR ROLL CURBS
 R3281B FOR BARRIER CURBS
 R2502B FOR FLAT PAVEMENT AND TURF AREAS
 R4340B FOR TURF AREAS



DETAIL 9 CB CLEANOUT



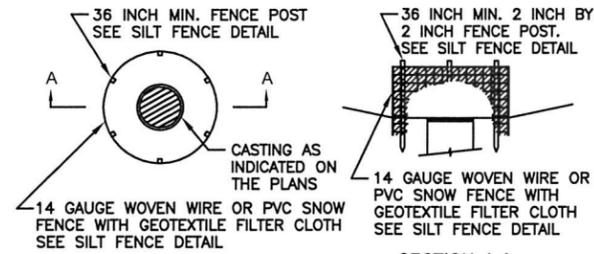
DETAIL 10 CB CURB WALL

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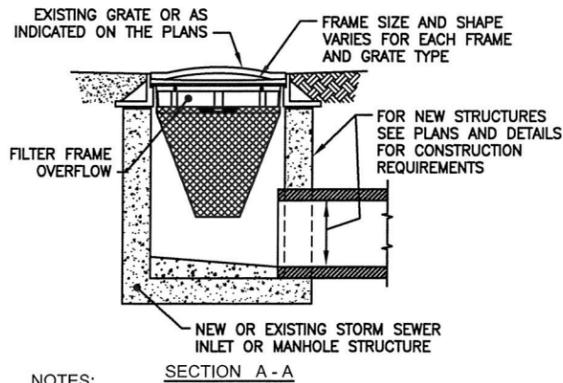
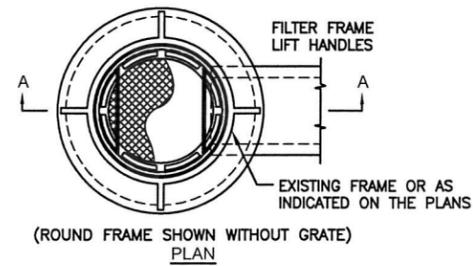
DETAILS
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PROJECT: 13-1601
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 C8



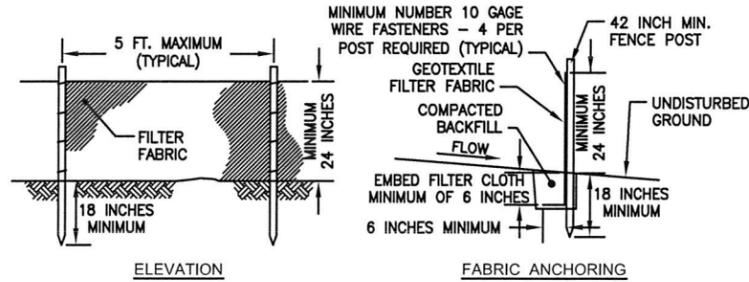
- NOTES:
1. EMBED FABRIC 6 INCHES BELOW GROUND SURFACE.
 2. REMOVE SEDIMENT BUILDUP AFTER EACH RAIN EVENT.
 3. GEOTEXTILE SHALL BE WRAPPED OVER THE TOP MEMBER OF THE WELDED WIRE BY 6 INCHES AND SECURED WITH FASTENING RINGS AT 6 INCHES ON CENTER. THE FASTENING RING SHALL PENETRATE BOTH LAYERS OF GEOTEXTILE AND SECURELY CLOSE AROUND THE TOP STEEL MEMBER. GEOTEXTILE SHALL BE OVERLAPPED A MINIMUM OF 1 FOOT AND SECURED WITH FASTENING RINGS AT 6 INCHES ON CENTER OR SEWN WITH A TYPE 401 LOCK STITCH TO FORM A SOCK. IN LIEU OF SEWING, THE FASTENING RING SHALL PENETRATE BOTH LAYERS OF GEOTEXTILE AND SECURELY CLOSE AROUND A MEMBER OF THE WOVEN WIRE.

DETAIL 1 INLET PROTECTION (LAWN)



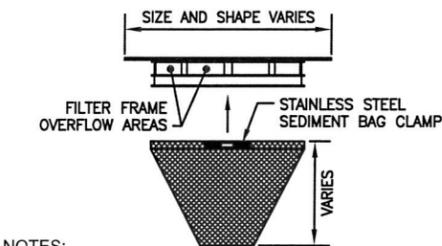
- NOTES:
1. FILTER FRAMES FOR SEDIMENT BAGS SHALL BE SHAPED TO FIT INTO THE REQUIRED INLET OR MANHOLE FRAME AND GRATES. THE FILTER FRAME SHALL HAVE AN OVERFLOW FEATURE. THE SEDIMENT BAGS SHALL HAVE A SUPPORTING NET CAPABLE OF SUPPORTING A FULL SEDIMENT BAG.
 2. CONTRACTOR WILL BE REQUIRED TO CHECK AND EMPTY SEDIMENT BAGS AFTER EACH RAIN AND AT SUCH INTERVALS NEEDED TO CONTROL SILT BUILDUP. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SEDIMENT BAGS WHEN DISCOVERED.

DETAIL 5 INLET PROTECTION (PAVEMENT)

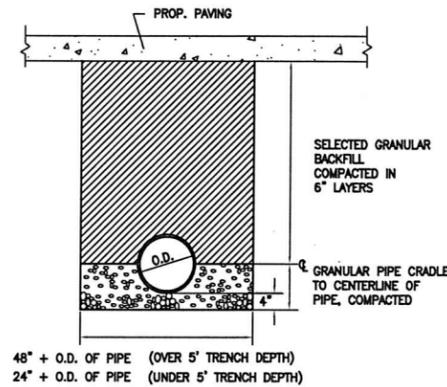
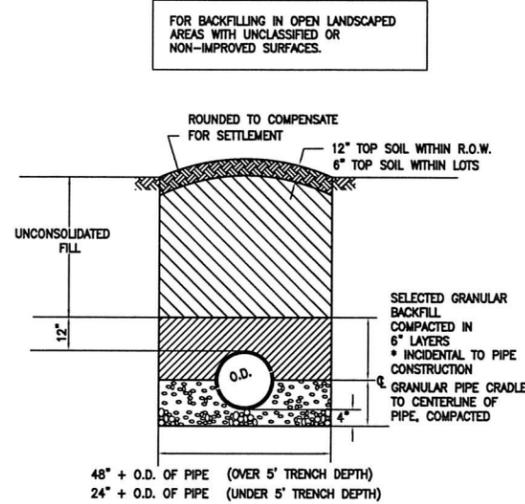


- NOTES:
1. TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
 2. FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS I WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
 3. FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQUARE INCHES.

DETAIL 2 SILT FENCE



- NOTES:
1. FRAME TOP FLANGE FABRICATED FROM 1/8 INCH FLAT STOCK. BASE RIM FABRICATED FROM 1 1/2 INCH BY 1/2 INCH BY 1/8 INCH CHANNEL. ALL DOMESTIC STEEL CONFORMING TO ASTM-A36.
 2. SEDIMENT BAG FABRICATED FROM 4 OUNCE/SQUARE YARD NON-WOVEN POLYPROPYLENE GEOTEXTILE REINFORCED WITH POLYESTER MESH. BAG SECURED TO BASE RIM WITH A STAINLESS STEEL STRAP AND LOCK.
 3. UNIT SHALL COMPLY WITH THE REQUIREMENTS OF THE IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION
 4. REMOVE SEDIMENT FROM BAG WHEN BAG IS 1/2 FULL.

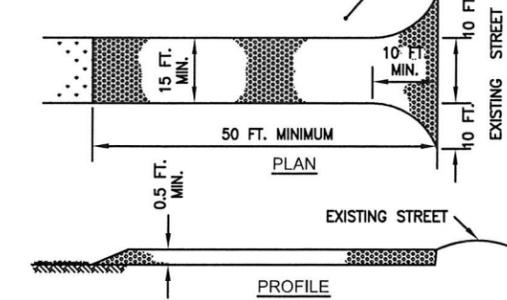


- NOTES:
1. TRENCH SIDES SHALL BE VERTICAL TO A POINT 1'-0" ABOVE THE TOP OF THE PIPE. SLOPED SIDES MAY BE USED ABOVE THIS POINT. A 2 FT. EXCAVATED SHELF SHALL BE MAINTAINED AROUND THE PERIMETER OF THE EXCAVATION.

FOR BACKFILLING BENEATH RIGID PAVING INCLUDING WALKS, DRIVES, PARKING AREAS, ETC. AND WHEN INNER EDGE OF EXCAVATION IS WITHIN 2' OF EXISTING OR PROPOSED CURB, PAVEMENT, OR SIDEWALK.

DETAIL 3 UTILITY TRENCH

SEDIMENT TRAPPING BASIN REQUIRED WHEN WHEEL WASHING OR DRAINAGE CROSSES CONSTRUCTION ENTRANCE. LOCATION(S) AS INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER OR OWNER'S REPRESENTATIVE



- NOTES:
1. STONE SIZE - USE 2 INCH DIAMETER OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET LONG (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH MAY APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, THE FLOW SHOULD BE DIVERTED. AN APPROVED SEDIMENT TRAPPING DEVICE MAY BE REQUIRED BY THE ENGINEER'S OR OWNER'S REPRESENTATIVE. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
 8. WASHING - WHEELS AND UNDERSIDE OF VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO A SEDIMENT TRAPPING DEVICE AS APPROVED BY THE ENGINEER OR OWNER'S REPRESENTATIVE.
 9. CONTRACTOR MAY LOCATE CONSTRUCTION ENTRANCES TO ACCOMMODATE CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE PUBLIC ROAD AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION. WHEN CONSTRUCTION ENTRANCES MUST BE LOCATED IN AREAS WITH EXISTING STREET CURBS; WHERE POSSIBLE, LOCATE CONSTRUCTION ENTRANCES WHERE EXISTING STREET CURBS WILL BE REMOVED AS PART OF THE PROJECT. EXISTING STREET CURBS TO REMAIN MUST BE PROTECTED FROM DAMAGE IN AN APPROPRIATE MANNER SUCH AS RAMPS BUILT OF 6 INCH BY 6 INCH POSTS, 4 INCH BY 4 INCH POSTS AND 2 INCH BY 4 INCH TREATED LUMBER OR "COLD PATCH" OVER 4 INCH DIAMETER CONDUIT TO ALLOW GUTTER FLOW. CONTRACTOR SHALL REMOVE AND REPLACE ANY STREET CURBS DAMAGED DURING CONSTRUCTION.

DETAIL 4 STABILIZED CONSTRUCTION ENTRANCE

NO.	DATE	DESCRIPTION

REVISIONS

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DETAILS

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